

ADDITION TO:

SRI LAKSHMI TEMPLE

117 WAVERLY STREET
ASHLAND, MA 01721

DATE : OCTOBER 15, 2014
PERMIT SET (CORE & SHELL)

Architect: JDP | Joyce Design Partnership
111 Perkins Street Suite 215, Boston, MA 02130

SRI LAKSHMI TEMPLE
NEW ADDITION

117 WAVERLY STREET
ASHLAND, MA 01721

Joyce Design Partnership
Architecture • Interior Design

111 PERKINS STREET SUITE 215
BOSTON MA 02130
(617) 522-0718

 **ABERJONA ENGINEERING INC**

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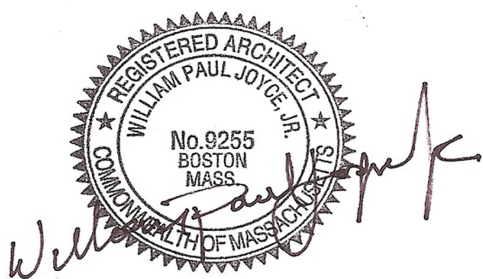
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Issue	Date
PERMIT SET (CORE & SHELL)	10.15.2014

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Sheet Title

COVER

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NTS	JSR	WPU

Sheet #

COVER

Project #

14012

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CODE	
NEW ENGLAND HINDU TEMPLE - CODE ANALYSIS 177 WAVERLY STREET ASHLAND, MA, 01721 October 15, 2014	
PROJECT DESCRIPTION: CONSTRUCTION OF A NEW 2 STORY BUILDING ADDITION OF 16,287 GROSS SF FOR ASSEMBLY & BUSINESS USE.	
CHAPTER 1: SCOPE AND ADMINISTRATION 101.4 CODES USED FOR ANALYSIS: *INTERNATIONAL BUILDING CODE 2009 EDITION WITH STATE OF MASSACHUSETTS AMENDMENTS *INTERNATIONAL PLUMBING CODE 2009 EDITION WITH STATE OF MASSACHUSETTS AMENDMENTS *INTERNATIONAL MECHANICAL CODE 2009 EDITION WITH STATE OF MASSACHUSETTS AMENDMENTS *INTERNATIONAL ENERGY CONSERVATION CODE 2012 EDITION WITH STATE OF MASSACHUSETTS AMENDMENTS 524 CMR ELEVATOR REGULATIONS MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR LOCAL ZONING CODES OF ASHLAND, MA	
IBC CHAPTER 2 - DEFINITIONS STATES SPECIFIC DEFINITIONS & TERMS MEANT FOR THE PURPOSE OF THIS CODE	
IBC CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION 304.1 CLASSIFICATION USE GROUPS: A-2 & 3 ASSEMBLY, B-BUSINESS	
IBC CHAPTER 4 - SPECIAL REQUIREMENTS BASED ON USE AND OCCUPANCY NOT APPLICABLE	
IBC CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS TABLE 503 ALLOWABLE BUILDING HEIGHTS AND AREAS B: TYPE IIB MAX HEIGHT: 55'-0" ACTUAL MAX HEIGHT: 32'-3" COMPLIES MAX STORIES: 2 ACTUAL STORIES: 2 COMPLIES MAX AREA/STORY: 9,500 SF ACTUAL AREA/STORY: 8,472SF COMPLIES	
CHAPTER 6: TYPES OF CONSTRUCTION TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS CONSTRUCTION TYPE IIB PRIMARY STRUCTURAL FRAME: 0 HOUR BEARING WALLS EXTERIOR: 0 HOUR INTERIOR: 0 HOUR NON-BEARING EXTERIOR: 0 HOUR INTERIOR: 0 HOUR FLOOR CONSTRUCTION: 0 HOUR ROOF CONSTRUCTION: 0 HOUR 602.2 TYPE II ANY NON-COMBUSTIBLE MATERIALS PERMITTED BY CODE: BUILDING COMPLIES	
CHAPTER 8: INTERIOR FINISHES INTERIOR FINISHES SHALL BE IN COMPLIANCE WITH TABLE 803.9 CLASS RATINGS FOR NON-SPRINKLERED BUILDINGS	
CHAPTER 9: FIRE PROTECTION SYSTEMS: TABLE 903.2 GROUP B AUTOMATIC SPRINKLER REQUIREMENTS ASSEMBLY A-2 & 3, IF AREA EXCEEDS 12,000SF SPRINKLER REQUIRED ACTUAL AREA: 16,287SF COMPLIES/BUILDING IS REQUIRED TO BE SPRINKLERED	
CHAPTER 10: MEANS OF EGRESS 1003.2 CEILING HEIGHT MINIMUM HEIGHT: 7'-6" MINIMUM, ACTUAL HEIGHTS VARIES BUT ABOVE 8'-0" COMPLIES EXCEPTIONS: 1. BATHROOMS & STORAGE ROOMS: MINIMUM HEIGHT: 7'-6" ACTUAL HEIGHTS VARIES BUT ABOVE 7'-6" COMPLIES 1003.3 PROTRUDING OBJECTS COMPLIES W/ SECTION 1003.3.1 1003.4 FLOOR SURFACE MEANS OF EGRESS WALKING SURFACES SHALL HAVE SLIP RESISTANT SURFACE SECURELY ATTACHED - MATERIALS COMPLY TABLE 1004.1.1 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT LOWER LEVEL: ASSEMBLY - 2: 200 GROSS SF 5 OCCUPANTS KITCHEN AREA: 926 SF/200 SF= 5 TOTAL OCCUPANTS TOTAL: 926 SF/200 SF= 2 ACTUAL OCCUPANTS	

CODE	
MAIN LEVEL: ASSEMBLY - 3: 7 NET SF/CHAIRS ONLY 386 OCCUPANTS AUDITORIUM AREA: 2,895 SF/7 SF= 386 TOTAL OCCUPANTS TOTAL: 2,895 SF/7 SF= 223 ACTUAL OCCUPANTS BASED ON LAYOUT	
LIBRARY AREA: 50 NET SF 3 OCCUPANTS 150 SF/50 SF= 3 TOTAL OCCUPANTS TOTAL: 150 SF/50 SF= 4 ACTUAL OCCUPANTS BASED ON LAYOUT	
BUSINESS AREA: BOARD ROOM AREA: 100 GROSS SF 3 OCCUPANTS 264 SF/100 SF= 3 TOTAL OCCUPANTS TOTAL: 3 TOTAL OCCUPANTS 14 ACTUAL OCCUPANTS BASED ON LAYOUT	
TOTAL NUMBER OCCUPANTS ALLOWED BY CODE: 397 OCCUPANTS ACTUAL NUMBER OCCUPANTS BASED ON USE: 243 OCCUPANTS	
NOTE: THE OCCUPANTS IN THE AUDITORIUM/MULTIUSE SPACE ON THE MAIN LEVEL WILL BE THE SAME GROUP THAT WILL USE THE DINING FACILITIES THEREFORE THE DINING FACILITY OCCUPANT LOAD IS CALCULATED AS THE SAME.	
1005.1 MINIMUM REQUIRED EGRESS WIDTH STAIRS: 0.3 X 241 OCCUPANTS = 72.3 INCHES LOWER LEVEL CORRIDOR: 0.2 X 243 OCCUPANTS = 48.6" WIDTH MINIMUM - COMPLIES MAIN LEVEL CORRIDOR: 0.2 X 241 OCCUPANTS = 48.2" WIDTH MINIMUM - COMPLIES	
1008.1.1 SIZE OF DOORS MINIMUM CLEAR WIDTH 32" ACTUAL CLEAR WIDTH: 36" COMPLIES MINIMUM HEIGHT 80" ACTUAL HEIGHT: 84" COMPLIES	
TABLE 1014.3 COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FEET - COMPLIES	
TABLE 1016.1 EXIT ACCESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM: 250 FT PERMITTED 201'-0" ACTUAL FARTHEST DISTANCE	
1018.2 CORRIDOR MINIMUM WIDTH: 44" ACTUAL EGRESS WIDTH: 72" PLUS - COMPLIES	
TABLE 1021.1 MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD LOWER LEVEL EXTERIOR EXITS: 2 REQUIRED ACTUAL: 4 TO EXTERIOR MAIN LEVEL EXTERIOR EXITS: 3 REQUIRED ACTUAL: 3 TO EXTERIOR	
CHAPTER 11: ACCESSIBILITY THE BUILDING COMPLIES WITH THE ACCESSIBILITY CODE BY REFERENCE INTERNATIONAL BUILDING CODE 2006 EDITION WITH ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ANSI A117, 1-2003 and MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR	
CHAPTER 11: PLUMBING SYSTEMS GROUP A - ASSEMBLY USE 397 OCCUPANTS - 199 WOMEN & 199 MEN REQUIRED: TOILETS: 1 PER 50 WOMEN, 1 PER 100 MEN (URINALS 50%) LAVATORIES: 1 PER 200 JANITOR SINK: 1 PER FLOOR WATER FOUNTAIN: 1 PER 1000 FIXTURES REQUIRED BASED ON OCCUPANTS: TOILETS: 4 FOR WOMEN, 2 FOR MEN (50% URINALS) LAVATORIES: 1 PER GENDER JANITOR SINK: 1 PER FLOOR WATER FOUNTAIN: 1 PER 1000 FIXTURES PROVIDED: TOILETS: 8 FOR WOMEN 4 FOR MEN'S URINALS 2 UNISEX HANDICAP ACCESSIBLE 1 UNISEX LAVATORIES: 6 PER GENDER/3 UNISEX JANITOR SINK: 1 PER FLOOR WATER FOUNTAIN: 1 PER FLOOR	

GENERAL NOTES	
1.	GENERAL CONTRACTOR IS RESPONSIBLE FOR CAREFULLY VERIFYING ALL EXISTING CONDITIONS ON SITE. FAILURE TO DO SO SHALL NOT BE GROUNDS FOR ADDITIONAL COMPENSATION
2.	GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK INCLUDING THAT OF HIS SUB-CONTRACTORS WITH ALL TOWN AND STATE AGENCIES AND UTILITIES WHICH MAY HAVE JURISDICTION OVER THIS PROJECT.
3.	ALL WORK SHALL CONFORM TO ALL BUILDING AND OCCUPATIONAL SAFETY CODES PERTAINING TO THIS PROJECT.
4.	PRIOR TO ANY SITE EXCAVATION GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES STORAGE TANKS, SEPTIC TANKS AND SYSTEM FIELDS AS APPLICABLE. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED FOR DISTURBANCE OF SAME.
5.	GENERAL CONTRACTOR SHALL COORDINATE AT ALL TIMES WITH OWNER WHEN ANY WORK CALLED FOR ON PLANS HAS POTENTIAL OF DISRUPTING ANY OPERATIONS. GENERAL CONTRACTOR SHALL GIVE 24 WORKING HOURS NOTICE TO OWNER OF ANY POTENTIAL DISRUPTION OF SERVICE.
6.	IN ADDITION TO NOTE 5 GENERAL CONTRACTOR SHALL PROVIDE A DETAILED CRITICAL PATH SCHEDULE OF WORK COVERING ALL PHASES OF PROJECT. SCHEDULE SHALL INCLUDE SPECIFIC DATES AND TIME PERIODS OF WORK DURATION.
7.	GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REFINISHING ANY EXISTING ITEMS OR EXISTING FINISHED SURFACES DAMAGED DURING CONSTRUCTION PROCEDURE.
8.	GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING FOR TRADES AND ALL TRENCHING FOR WORK BY OTHERS.
9.	PLANS AND SPECIFICATIONS IN SOME INSTANCES, DO NOT CONTAIN SPECIFIC INSTRUCTIONS FOR INSTALLATION OR PREPARATION METHODS OF ALL EQUIPMENT, PRODUCTS, OR SYSTEMS. GENERAL CONTRACTOR AND HIS SUBS ARE RESPONSIBLE FOR FOLLOWING MANUFACTURERS SUGGESTED SPECIFICATIONS, ASTM STANDARDS AND APPLICABLE CODES. CONTRACTOR SHALL PROVIDE COPIES OF ALL WARRANTIES AND INSTRUCTIONS TO OWNER AT COMPLETION OF PROJECT.
10.	GENERAL CONTRACTOR SHALL WARRANT ALL EQUIPMENT, FINISHES AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT BY OWNER.
11.	ALL PIPING CONDUIT OR DUCTWORK SHALL BE CONCEALED IN WALLS OR ABOVE CEILINGS, UNLESS SPECIFICALLY CALLED TO BE EXPOSED. THESE ITEMS SHALL BE ENCLOSED AND THE ENCLOSURES FINISHED TO MATCH EXISTING OR NEW ADJACENT STRUCTURES GENERAL CONTRACTOR SHALL CAREFULLY REVIEW AND COORDINATE THE WORKING DRAWING ITEMS SHOWN EXPOSED IN PLAN BUT NOT SPECIFICALLY CALLED FOR TO BE INSTALLED AS SO SHALL BE VERIFIED PRIOR TO INSTALLATION FAILURE TO VERIFY SHALL NOT BE GROUNDS FOR ADDITIONAL COMPENSATION.
12.	NEW PARTITIONS SHALL RUN UP TO THE BOTTOM OF STRUCTURE ABOVE, UNLESS SPECIFIED TO STOP ABOVE CEILINGS.
13.	DURING ALL PHASES OF CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL ON SITE. AREAS TO RECEIVE VEGETATION SHALL BE PROTECTED FROM EROSION UNTIL SUCH VEGETATION IS FIRMLY ESTABLISHED IN PLACE
14.	SHOP DRAWINGS SHALL BE REVIEWED AND ACCEPTED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT. ALL SHOP DRAWING SUBMITTALS SHALL BE MARKED. PRIOR TO SUBMITTAL TO ARCHITECT.
15.	SHOP DRAWINGS SHALL BE REVIEWED BY THE ARCHITECT FOR GENERAL CONFORMANCE TO DESIGN DIMENSIONS, QUANTITIES AND COORDINATION OF SHOP DRAWINGS ITEMS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
16.	THROUGHOUT THE WORKING DRAWINGS OTHER GENERAL NOTES PERTAINING TO SPECIFIC AREAS DETAILS TRADES OR PLANS MAY APPEAR IN SUCH INSTANCES THEY SHALL BE CONSIDERED EXTENSIONS OF THESE GENERAL NOTES
17.	ALL SALVAGEABLE ITEMS AND MATERIALS REMOVED FOR NEW CONSTRUCTION ARE TO BE TURNED OVER TO THE OWNER ALL SUCH ITEMS DEEMED DISPOSABLE BY THE OWNER SHALL BE DISPOSED OF OFF SITE BY THE GENERAL CONTRACTOR.

PROJECT DESCRIPTION

Sri Lakshmi Hindu Temple, Ashland, MA

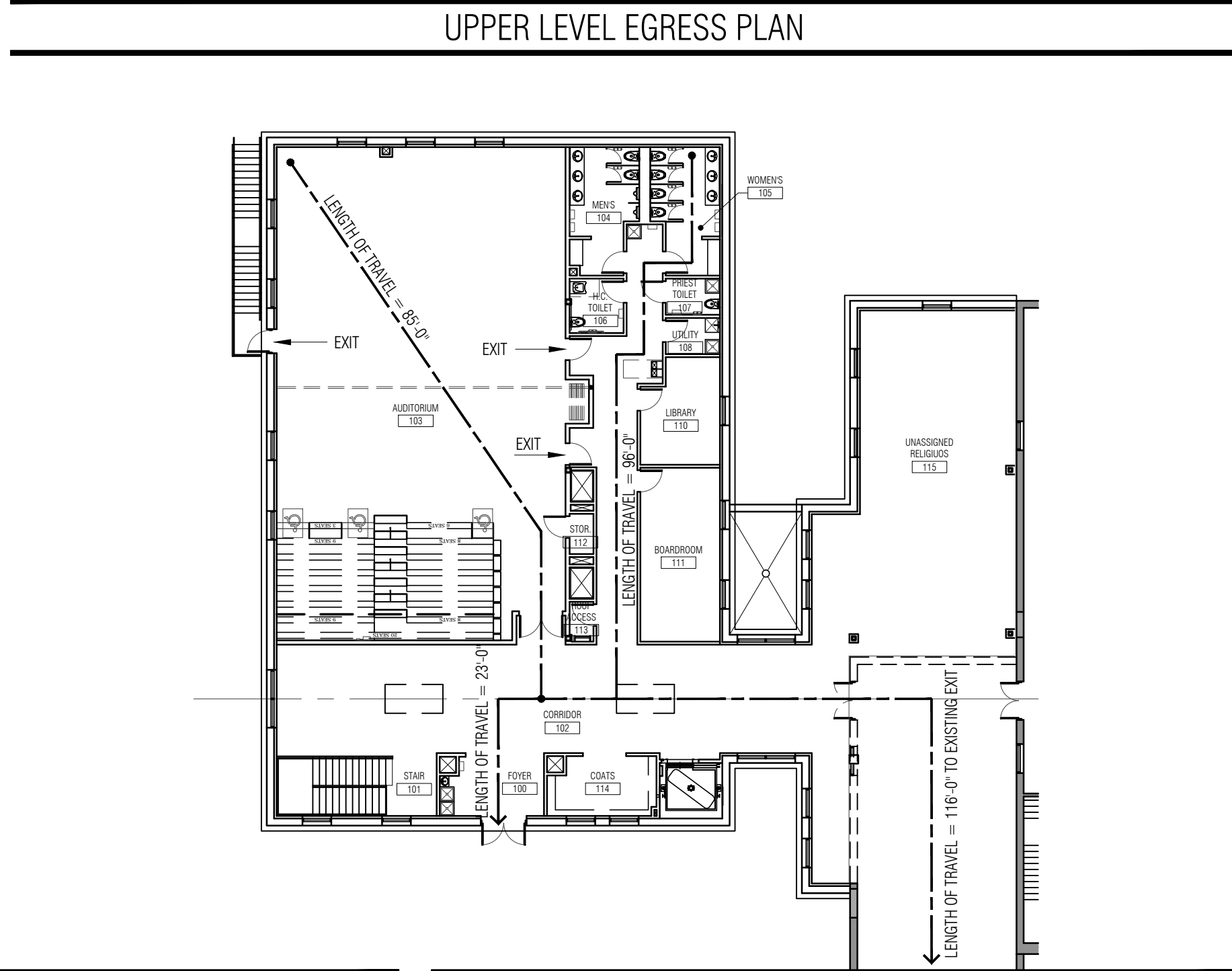
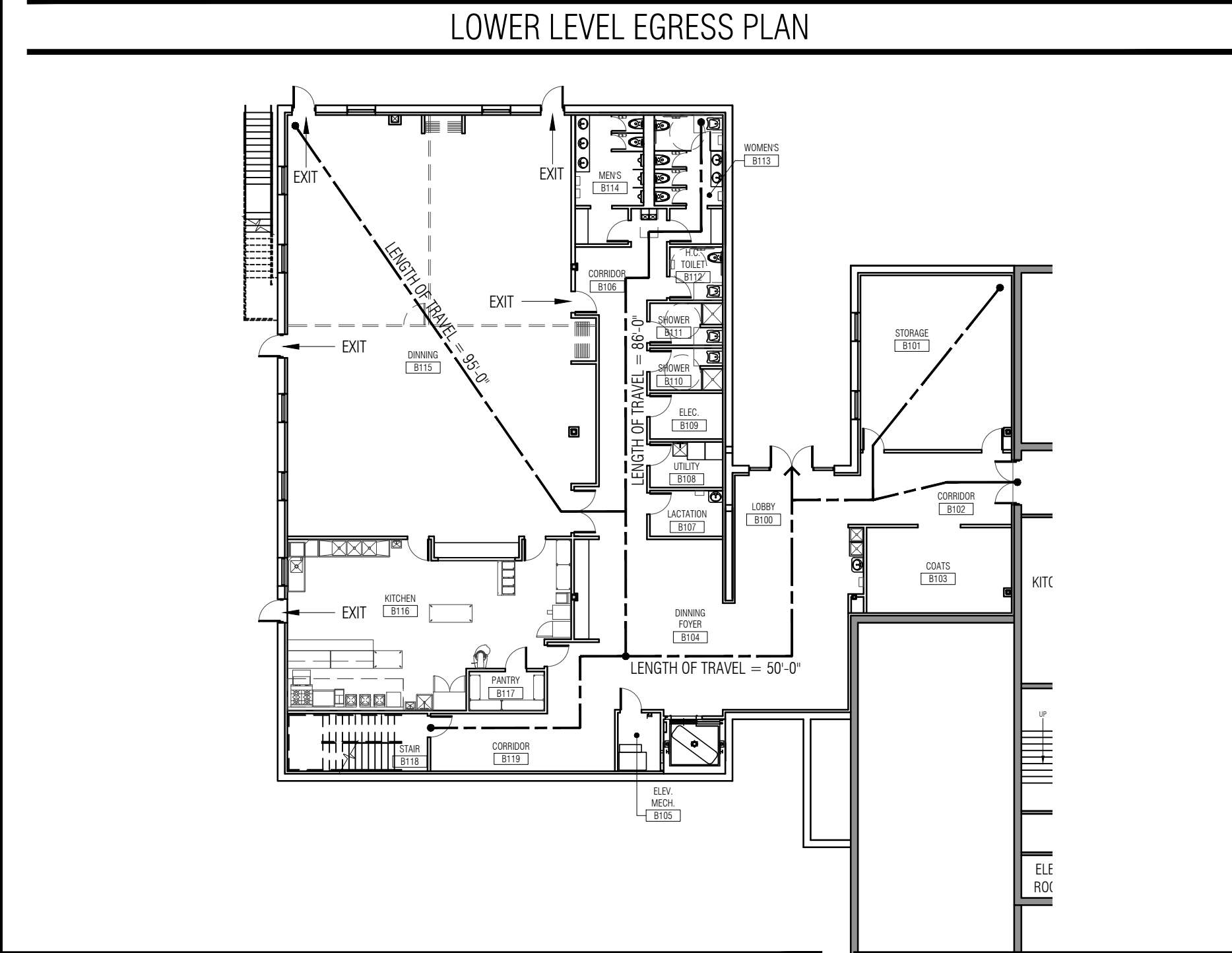
Project Description:
This project is the first of a planned 4 phase expansion to the Temple. This first phase is the construction of a new 16,287SF two story building to serve as an adjunct business, gathering and dining facility to the Temple.

The new building will have a connector on both levels to the existing temple. Minor renovations will occur in the existing space on the main level. There is one main connecting stair between levels and an elevator. The building has entries on both levels that connect directly with grade. Public access to the facility will be on both levels and limited to the standard hours of operation.

The main level will consist of the boardroom and library, auditorium, primary building entry with leg wash facilities and coat room. Large skylight public gallery and toilet and support facilities. The lower level consists of the large divisible dining room, kitchen and pantry, secondary entry and gathering space with leg wash and coat room, main utility rooms, shower rooms and toilet facilities.

All new utility services will be brought into the building. The existing Fire Sprinkler system has the capacity for both the existing temple and the new addition. All new Life Safety systems will be installed as part of the new addition and renovated areas.

DRAWINGS LIST		REVISIONS									
SHEET #	TITLE	PR	PMT	1	2	3	4	5	6	7	8
COVER											
ARCHITECTURAL											
A0.0	NOTES/ CODE/ DRAWING INDEX	X	X								
A1.0	FOUNDATION PLAN	X	X								
A1.1	LOWER LEVEL CONSTRUCTION PLAN	X	X								
A1.2	MAIN LEVEL CONSTRUCTION PLAN	X	X								
A1.3	ROOF PLAN	X	X								
A2.0	LOWER LEVEL REFLECTED CEILING PLAN	X	X								
A2.1	MAIN LEVEL REFLECTED CEILING PLAN	X	X								
A3.0	LOWER LEVEL POWER/ DATA/ SECURITY PLAN	X	X								
A3.1	MAIN LEVEL POWER/ DATA/ SECURITY PLAN	X	X								
A4.0	EXTERIOR ELEVATIONS	X	X								
A4.1	EXTERIOR ELEVATIONS	X	X								
A4.2	EXTERIOR ELEVATIONS	X	X								
A5.0	BUILDING SECTIONS	X	X								
A5.1	BUILDING SECTIONS	X	X								
A5.2	BUILDING SECTIONS	X	X								
A5.3	WALL SECTION	X	X								
A6.0	BUILDING DETAILS	X	X								
A6.1	PLAN DETAILS - TOILETS	X	X								
A6.2	PLAN DETAILS - TOILET & SHOWER	X	X								
A6.3	PLAN DETAILS - KITCHEN	X	X								
A6.4	PLAN DETAILS - STAIRS	X	X								
A6.5	ELEVATOR PLAN & DETAILS	X	X								
A7.0	INTERIOR ELEVATIONS	X	X								
A8.0	DOOR SCHEDULE & DOOR/ FRAME TYPES	X	X								
A9.0	LOWER LEVEL FINISH PLAN	X	X								
A9.1	MAIN LEVEL FINISH PLAN	X	X								
STRUCTURAL											
S0-1	GENERAL NOTES	X	X								
S0-2	TYPICAL DETAILS	X	X								
S0-3	TYPICAL DETAILS	X	X								
S1-1	FOUNDATION/ LOWER LEVEL FLOOR PLAN	X	X								
S1-2	MAIN FLOOR FRAMING PLAN	X	X								
S1-3	ROOF FRAMING PLAN	X	X								
S2-1	SECTIONS & DETAILS	X	X								
S2-2	SECTIONS & DETAILS	X	X								
S2-3	SECTIONS & DETAILS	X	X								
S2-4	SECTIONS & DETAILS	X	X								
MECHANICAL											
M-000	SYMBOLS, NOTES AND ABBREVIATIONS	X									
M-100	NEW LOWER LEVEL FLOOR PLAN	X									
M-101	NEW MAIN LEVEL FLOOR PLAN	X									
M-102	NEW ROOF PLAN	X									
M-200	DETAILS	X									
M-300	SPECIFICATIONS	X									
M-400	GREASE HOOD DETAILS	X									
PLUMBING											
P-000	SYMBOLS, NOTES AND ABBREVIATIONS	X									
P-010	PLUMBING - FOUNDATION PLAN	X									
P-100	NEW LOWER LEVEL SUPPLY PLAN	X									
P-101	NEW MAIN LEVEL SUPPLY PLAN	X									
P-102	ROOF STORM DRAINAGE	X									
P-200	NEW LOWER LEVEL SANITARY PLAN	X									
P-201	NEW MAIN LEVEL SANITARY PLAN	X									
P-202	NEW ROOF SANITARY PLAN	X									
P-300	SCHEDULES AND DETAILS	X									
P-400	SPECIFICATIONS	X									
FIRE PROTECTION											
FP-000	SYMBOLS, NOTES AND DETAILS	X									
FP-100	NEW LOWER LEVEL FLOOR PLAN	X									
FP-101	NEW MAIN LEVEL FLOOR PLAN	X									
ELECTRICAL											
E-000	SYMBOLS, NOTES AND DETAILS	X									
E-100	PARTIAL ONE-LINE DIAGRAM	X									
E-101	NEW LOWER LEVEL POWER PLAN	X									
E-102	NEW MAIN LEVEL POWER PLAN	X									
E-103	NEW ROOF POWER PLAN	X									
E-200	NEW LIGHTING PLAN	X									
E-300	FIRE ALARM - SCHEDULE AND DETAILS	X									
E-301	FIRE ALARM - NEW LOWER LEVEL FLOOR PLAN	X									
E-302	FIRE ALARM - NEW MAIN LEVEL FLOOR PLAN	X									
E-400	SPECIFICATIONS	X									



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PERMIT SET (CORE & SHELL)	10.15.2014

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Professional Engineer
PAUL J. JOYCE
No. 8255
BOSTON
MASS.
10/17/2014

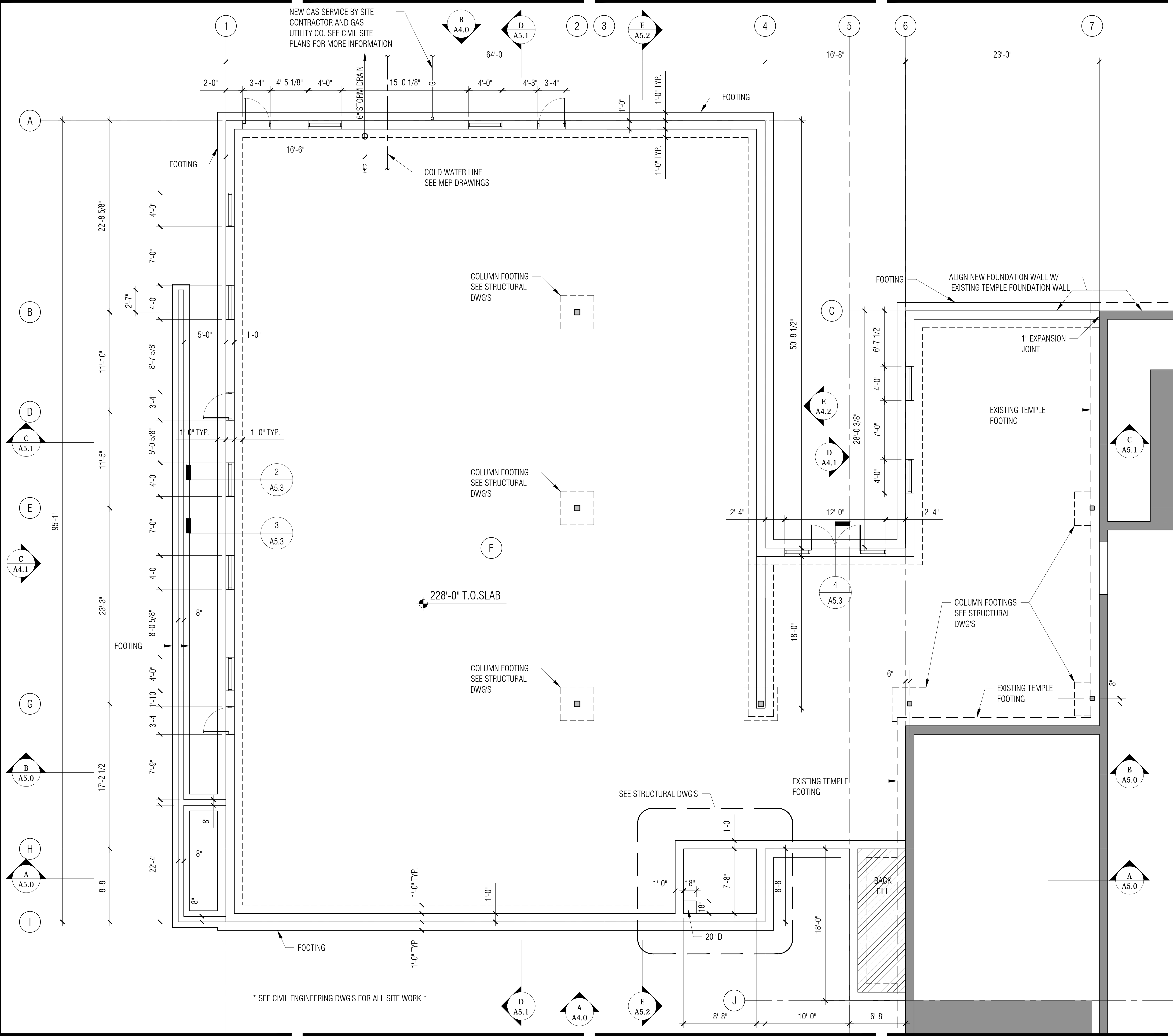
Sheet Title
NOTES, CODE REVIEW & DRAWING INDEX

Scale	Drawn by	Verified by
NTS	JSR	WPU

Sheet #
A0.0

Project #
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* SEE CIVIL ENGINEERING DWG'S FOR ALL SITE WORK *

DEMO NOTES

- THE GENERAL CONTRACTOR IS TO:
1. VISIT AND FAMILIARIZE HIMSELF AND VERIFY ALL EXISTING CONDITIONS AND VARIANCES PRIOR TO THE SUBMITTAL OF A PROPOSAL.
 2. OBTAIN ALL PERMITS AND NOTICES, AUTHORIZING DEMOLITION AS REQUIRED.
 3. PROVIDE FOR ALL CHARGES FOR HOISTING, CARTING, ELEVATOR SERVICE, STANDARD OVERTIME CHARGES AND EXPENSES WHEN REQUIRED DUE TO STANDARD BUILDING MANAGEMENT REQUIREMENTS.
 4. TAKE ALL PRECAUTIONS TO PRESERVE AND MAINTAIN ALL EXISTING FINISHES, OPERATIONAL CHARACTERISTICS AND APPEARANCE OF ALL REUSED ITEMS.
 5. INSPECT, TEST AND DISCONNECT UTILITY SERVICES AT MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING THE UTILITY SERVICES FOR THOSE PORTIONS OF THE BUILDING IN NEED OF UTILITY SERVICES.
 6. SECURELY CAP AND/OR SHUT VALVES OFF FOR UTILITY SERVICES NOT REQUIRED. BEHIND FINISH SURFACES OF INTENDED CONSTRUCTION, UTILITY SERVICES SHALL BE DEFINED AS PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION SYSTEMS.
 7. REMOVE ALL EXISTING CONSTRUCTION AS SHOWN ON DRAWINGS WHICH SHALL INCLUDE BUT SHOULD NOT BE LIMITED BY PARTITIONS, DOORS, FRAMES, BASE, APPLIES SURFACE FINISHES, CEILING ASSEMBLY, FINISH CARPENTRY, FLOORING FINISHES, LIGHTING FIXTURES AND SWITCHING, ELECTRICAL POWER DISTRIBUTION SYSTEM TO POWER PANEL. SPECIAL CARE IS TO BE GIVEN TO THE REMOVAL OF EQUIPMENTS/MATERIALS TO BE RELOCATED.
 8. DEMOLITION AND REMOVAL OPERATION SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
 10. PERFORM ALL DEMOLITION IN A NEAT AND WORKMAN LIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
 11. CUT AND CAP EXISTING DISCONTINUED CONDUITS AND OTHER MISC. ITEMS THAT PENETRATE THE SLAB. FILL VOIDS/HOLES IN SLAB WITH CONCRETE, MAINTAIN RATING @ FLOOR SLAB.

CONSTRUCTION NOTES

1. DRYWALL FINISHING: COMPLY WITH MANUFACTURERS PRINTED INSTRUCTIONS AND SPECIFICATIONS. EXCEPTION: COMPLY WITH MORE STRINGENT REQUIREMENTS OF GYPSUM ASSOCIATION GA-216 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.
2. EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL TRIM. PROVIDE CORNERS BEAD ALONG FULL LENGTH OF OUTSIDE CORNERS AND J BEADS ALONG ENDS OF GYPSUM BOARD. UNLESS OTHERWISE SPECIFICALLY NOTED, TAPE SPACKLE AND SAND JOINTS. PARTITIONS SHALL HAVE A SMOOTH FINISH CONDITION READY FOR PAINT AND FINISH MATERIAL APPLICATION, U.O.N.
3. EXPOSED WOOD SHALL BE FINISH GRADE HARDWOOD - FILLED, SANDED, PRIMED AND READY FOR SCHEDULED FINISH.
4. FOR BUILT IN WORK SURROUNDED BY PARTITION, INCLUDED BUT NOT LIMITED TO APPLIANCES AND FILES. CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" IN 20'-0" NON-CUMULATIVE. NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.
5. CONTRACTOR SHALL COORDINATE PLACEMENT OF BLOCKING FOR MILLWORK LOCATION AND IN EACH OFFICE PRIOR TO CLOSING WALLS.
6. CONTRACTOR SHALL FRAME DUCTWORK AT PARTITION LOCATIONS AND BRACE STUD AS REQUIRED FOR RIGID CONSTRUCTION. PROVIDE TRANSFER DUCTS IN SLAB TO SLAB PARTITION AS REQUIRED BY MECHANICAL SYSTEMS. NOTIFY ARCHITECT IF TRANSFER DUCT IS IN CONFLICT WITH ANY ARCHITECTURAL CONDITION.
7. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS, U.O.N.
8. PROVIDE FIRE RATED BLOCKING AT ALL LOCATIONS OF MILLWORK, SHELVES OR OTHER ITEMS INDICATED TO BE MOUNTED TO WALLS.
9. FIRE EXTINGUISHER TO BE LOCATED APPROPRIATELY & ACCORDING TO CODE. TO BE COORDINATED LATER.
10. ALL MECHANICAL, ELECTRICAL & PLUMBING MODIFICATIONS TO BE CONSIDERED DESIGN BUILD AND PART OF SUB-CONTRACTORS RESPONSIBILITIES.
11. COORDINATE WITH CLIENTS IT CONSULTANT TO ENSURE OPERATION OF EXISTING SYSTEM DURING CONSTRUCTION AND LOCATION OF ALL NEW VOICE/ DATA LOCATIONS.
12. PATCH & REPAIR ALL WALLS WHERE CONSTRUCTION HAS BEEN REMOVED.

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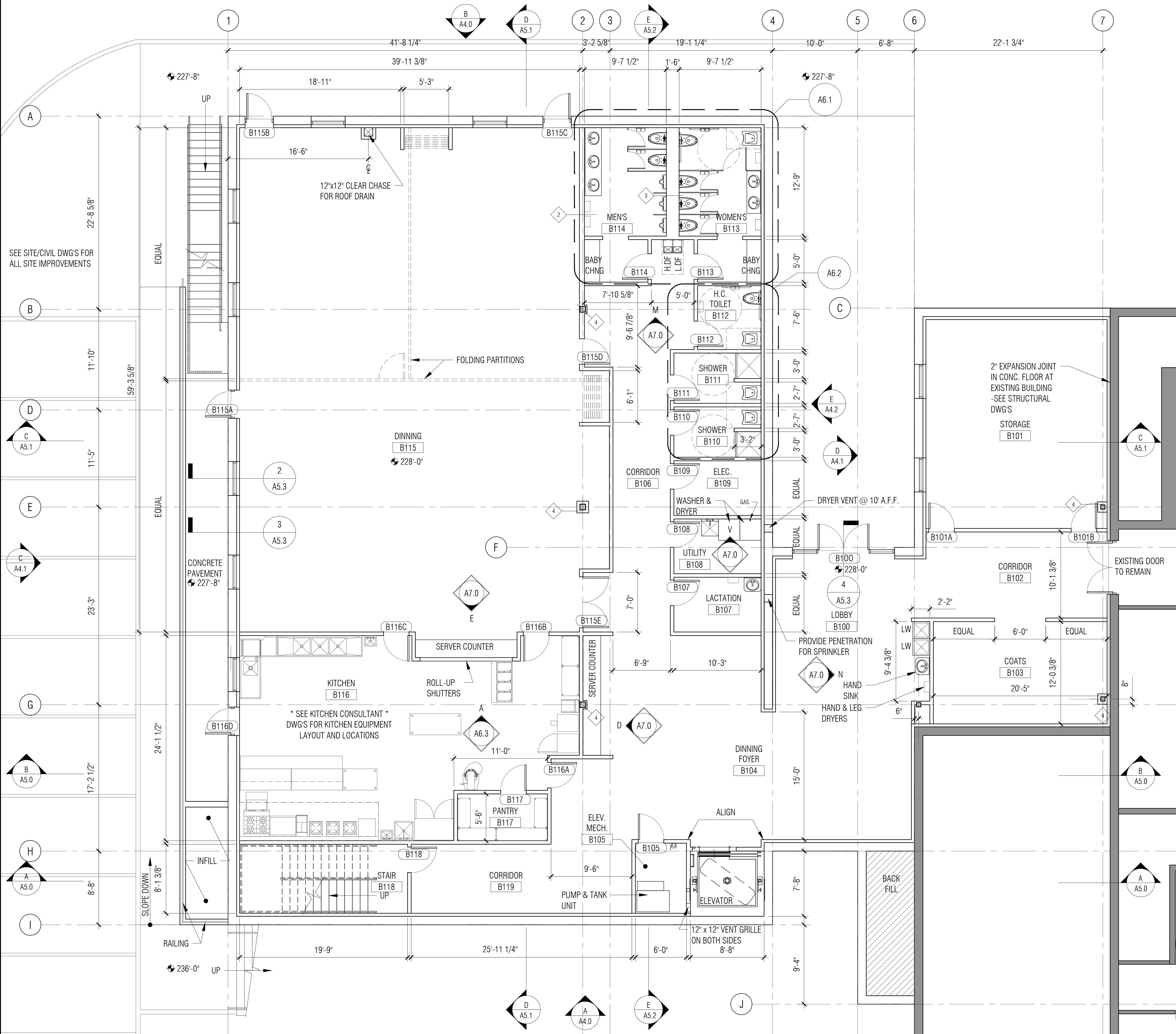
 Sheet Title

FOUNDATION PLAN

Scale 3/16" = 1'-0" Drawn by JSR Verified by WJP

Sheet #
A1.0
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 4. TAKE ALL PRECAUTIONS TO PRESERVE AND MAINTAIN ALL EXISTING FINISHES, OPERATIONAL CHARACTERISTICS AND APPEARANCE OF ALL REUSED ITEMS.
 5. INSPECT, TEST AND DISCONNECT UTILITY SERVICES AT MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING THE UTILITY SERVICES FOR THOSE PORTIONS OF THE BUILDING IN NEED OF UTILITY SERVICES.
 6. SECURELY CAP AND/OR SHUT VALVES OFF FOR UTILITY SERVICES NOT REQUIRED. BEHIND FINISH SURFACES OF INTENDED CONSTRUCTION, UTILITY SERVICES SHALL BE DEFINED AS PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION SYSTEMS.
 7. REMOVE ALL EXISTING CONSTRUCTION AS SHOWN ON DRAWINGS WHICH SHALL INCLUDE BUT SHOULD NOT BE LIMITED BY PARTITIONS, DOORS, FRAMES, BASE, APPLIES SURFACE FINISHES, CEILING ASSEMBLY, FINISH CARPENTRY, FLOORING FINISHES, LIGHTING FIXTURES AND SWITCHING, ELECTRICAL POWER DISTRIBUTION SYSTEM TO POWER PANEL. SPECIAL CARE IS TO BE GIVEN TO THE REMOVAL OF EQUIPMENTS/MATERIALS TO BE RELOCATED.
 8. DEMOLITION AND REMOVAL OPERATION SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
 10. PERFORM ALL DEMOLITION IN A NEAT AND WORKMAN LIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
 11. CUT AND CAP EXISTING DISCONTINUED CONDUITS AND OTHER MISC. ITEMS THAT PENETRATE THE SLAB. FILL Voids/Holes IN SLAB WITH CONCRETE, MAINTAIN RATING @ FLOOR SLAB.

CONSTRUCTION NOTES

1. DRYWALL FINISHING: COMPLY WITH MANUFACTURERS PRINTED INSTRUCTIONS AND SPECIFICATIONS. EXCEPTION: COMPLY WITH MORE STRINGENT REQUIREMENTS OF GYPSUM ASSOCIATION GA-216 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.
2. EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL TRIM. PROVIDE CORNERS BEAD ALONG FULL LENGTH OF OUTSIDE CORNERS AND J BEADS ALONG ENDS OF GYPSUM BOARD. UNLESS OTHERWISE SPECIFICALLY NOTED, TAPE SPACKLE AND SAND JOINTS. PARTITIONS SHALL HAVE A SMOOTH FINISH CONDITION READY FOR PAINT AND FINISH MATERIAL APPLICATION. U.O.N.
3. EXPOSED WOOD SHALL BE FINISH GRADE HARDWOOD - FILLED, SANDED, PRIMED AND READY FOR SCHEDULED FINISH.
4. FOR BUILT IN WORK SURROUNDED BY PARTITION, INCLUDED BUT NOT LIMITED TO APPLIANCES AND FILES. CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" IN 20'-0" NON-CUMULATIVE. NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.
5. CONTRACTOR SHALL COORDINATE PLACEMENT OF BLOCKING FOR MILLWORK LOCATION AND IN EACH OFFICE PRIOR TO CLOSING WALLS.
6. CONTRACTOR SHALL FRAME DUCTWORK AT PARTITION LOCATIONS AND BRACE STUD AS REQUIRED FOR RIGID CONSTRUCTION. PROVIDE TRANSFER DUCTS IN SLAB TO SLAB PARTITION AS REQUIRED BY MECHANICAL SYSTEMS. NOTIFY ARCHITECT IF TRANSFER DUCT IS IN CONFLICT WITH ANY ARCHITECTURAL CONDITION.
7. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS, U.O.N.
8. PROVIDE FIRE RATED BLOCKING AT ALL LOCATIONS OF MILLWORK, SHELVES OR OTHER ITEMS INDICATED TO BE MOUNTED TO WALLS.
9. FIRE EXTINGUISHER TO BE LOCATED APPROPRIATELY & ACCORDING TO CODE. TO BE COORDINATED LATER.
10. COORDINATE WITH CLIENTS CONSULTANT DURING CONSTRUCTION TO LOCATE ALL NEW VOICE/ DATA LOCATIONS.
11. PATCH & REPAIR ALL WALLS WHERE CONSTRUCTION HAS BEEN REMOVED.

PARTITION TYPES

- 1 3/8" x 16 G.A. METAL STUD W/ 5/8" GWB BOTH SIDES SECURED TO DECK ABOVE.
- 2 5/8" x 16 G.A. METAL STUD W/ 5/8" GWB BOTH SIDES SECURED TO DECK ABOVE.
- 3 2/8" x 14 G.A. METAL STUDS STAGGERED W/ 5/8" SOUND PROOFING GWB ONE SIDE SECURED TO DECK ABOVE. BATT INSULATED WITH BLOCKING AS REQUIRED.
- 4 3/8" x 16 G.A. METAL STUD W/ 5/8" GWB ONE SIDE SECURED TO DECK ABOVE.
- 5 EXTERIOR WALLS: 8" CMU W/ 3/8" x 16 G.A. METAL STUD W/ 5/8" GWB ON INTERIOR SIDE SECURED TO DECK ABOVE INSULATED.

**SRI LAKSHMI TEMPLE
NEW ADDITION**

117 WAVERLY STREET
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Joyce Design Partnership
Architecture • Interior Design

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**LOWER LEVEL
CONSTRUCTION PLAN**

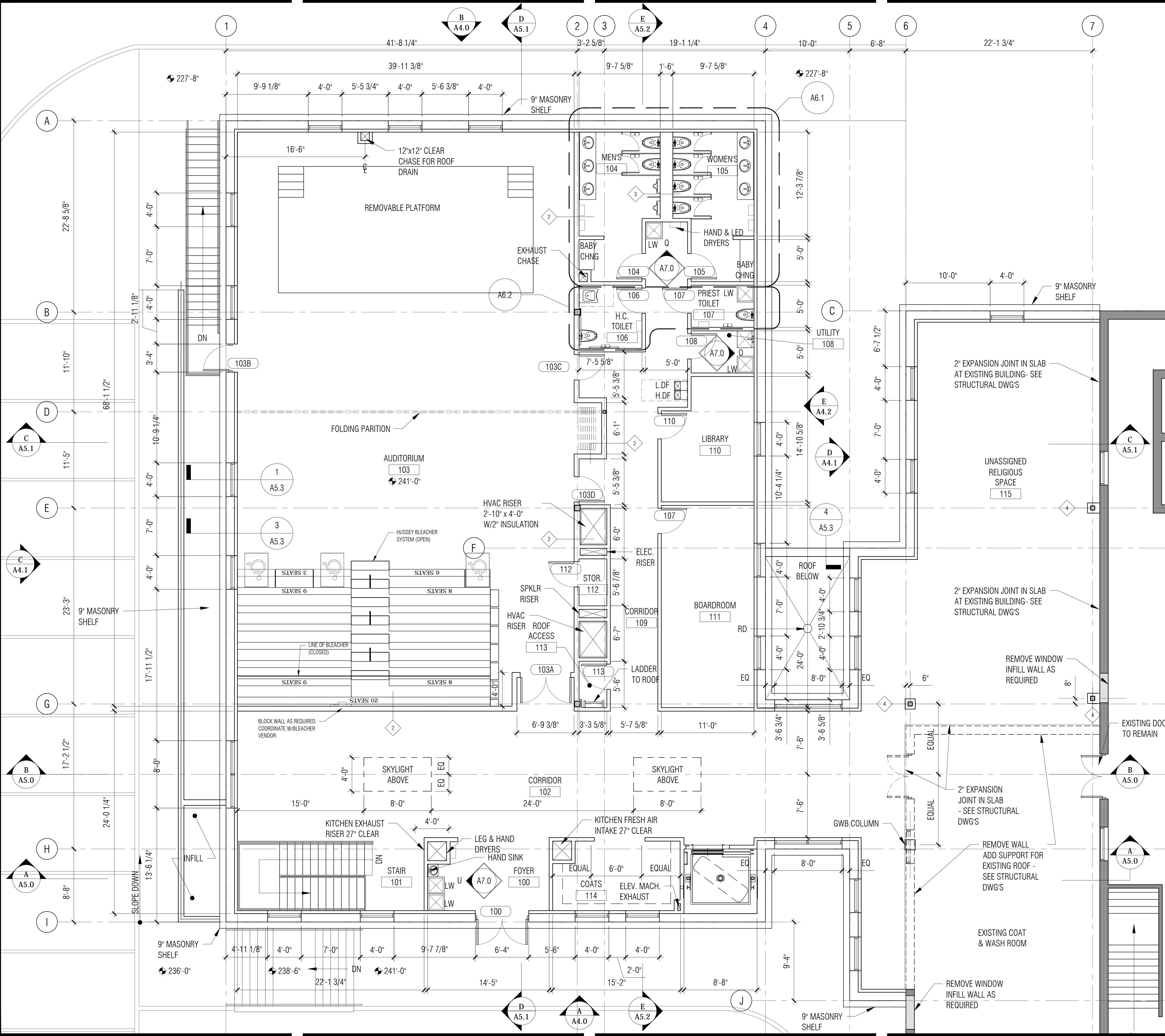
Scale 3/16" = 1'-0" Drawn by JSR Verified by WPJ

Sheet #

A1.1

Project # 14012

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- DEMO NOTES**
1. VISIT AND FAMILIARIZE HIMSELF AND VERIFY ALL EXISTING CONDITIONS AND VARIANCES PRIOR TO THE SUBMITTAL OF A PROPOSAL.
 2. OBTAIN ALL PERMITS AND NOTICES, AUTHORIZING DEMOLITION AS REQUIRED.
 3. PROVIDE FOR ALL CHARGES FOR HOISTING, CARTING, ELEVATOR SERVICE, STANDARD OVERTIME CHARGES AND EXPENSES WHEN REQUIRED DUE TO STANDARD BUILDING MANAGEMENT REQUIREMENTS.
 4. TAKE ALL PRECAUTIONS TO PRESERVE AND MAINTAIN ALL EXISTING FINISHES, OPERATIONAL CHARACTERISTICS AND APPEARANCE OF ALL REUSED ITEMS.
 5. INSPECT, TEST AND DISCONNECT UTILITY SERVICES AT MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING THE UTILITY SERVICES FOR THOSE PORTIONS OF THE BUILDING IN NEED OF UTILITY SERVICES.
 6. SECURELY CAP AND/OR SHUT VALVES OFF FOR UTILITY SERVICES NOT REQUIRED. BEHIND FINISH SURFACES OF INTENDED CONSTRUCTION, UTILITY SERVICES SHALL BE DEFINED AS PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION SYSTEMS.
 7. REMOVE ALL EXISTING CONSTRUCTION AS SHOWN ON DRAWINGS WHICH SHALL INCLUDE BUT SHOULD NOT BE LIMITED BY PARTITIONS, DOORS, FRAMES, BASE, APPLIES SURFACE FINISHES, CEILING ASSEMBLY, FINISH CARPENTRY, FLOORING FINISHES, LIGHTING FIXTURES AND SWITCHING, ELECTRICAL POWER DISTRIBUTION SYSTEM TO POWER PANEL. SPECIAL CARE IS TO BE GIVEN TO THE REMOVAL OF EQUIPMENTS/MATERIALS TO BE RELOCATED.
 8. DEMOLITION AND REMOVAL OPERATION SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
 10. PERFORM ALL DEMOLITION IN A NEAT AND WORKMAN LIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
 11. CUT AND CAP EXISTING DISCONTINUED CONDUITS AND OTHER MISC. ITEMS THAT PENETRATE THE SLAB. FILL VOIDS/HOLES IN SLAB WITH CONCRETE. MAINTAIN RATING @ FLOOR SLAB.

- CONSTRUCTION NOTES**
1. DRYWALL FINISHING: COMPLY WITH MANUFACTURERS PRINTED INSTRUCTIONS AND SPECIFICATIONS. EXCEPTION: COMPLY WITH MORE STRINGENT REQUIREMENTS OF GYPSUM ASSOCIATION GA-216 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.
 2. EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL TRIM. PROVIDE CORNERS BEAD ALONG FULL LENGTH OF OUTSIDE CORNERS AND J BEADS ALONG ENDS OF GYPSUM BOARD, UNLESS OTHERWISE SPECIFICALLY NOTED. TAPE SPACKLE AND SAND JOINTS. PARTITIONS SHALL HAVE A SMOOTH FINISH CONDITION READY FOR PAINT AND FINISH MATERIAL APPLICATION, U.O.N.
 3. EXPOSED WOOD SHALL BE FINISH GRADE HARDWOOD - FILLED, SANDED, PRIMED AND READY FOR SCHEDULED FINISH.
 4. FOR BUILT IN WORK SURROUNDED BY PARTITION, INCLUDED BUT NOT LIMITED TO APPLIANCES AND FILES, CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/8" IN 20'-0" NON-CUMULATIVE. NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.
 5. CONTRACTOR SHALL COORDINATE PLACEMENT OF BLOCKING FOR MILLWORK LOCATION AND IN EACH OFFICE PRIOR TO CLOSING WALLS.
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**SRI LAKSHMI TEMPLE
NEW ADDITION**

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Joyce Design Partnership
Architecture • Interior Design

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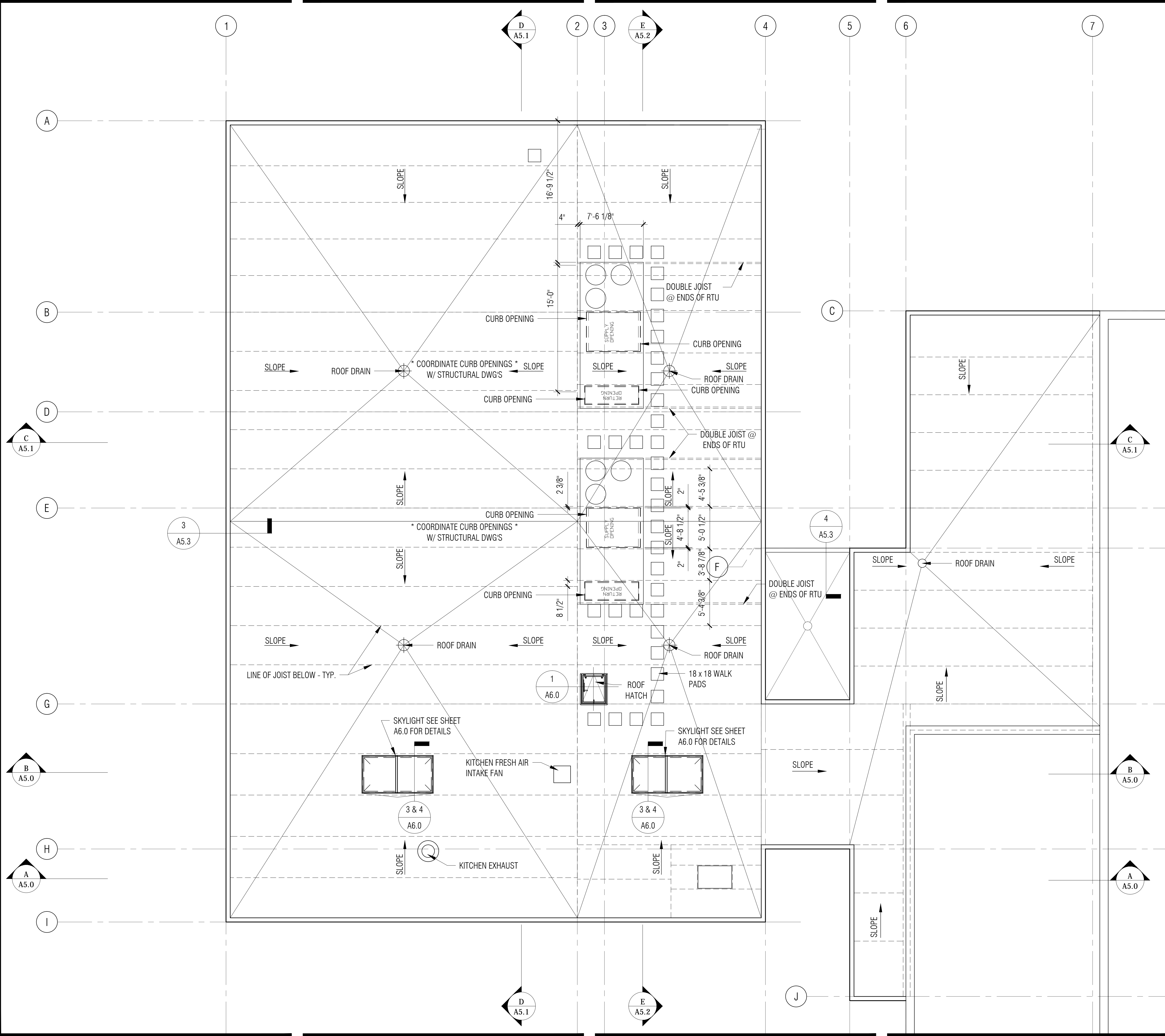
**MAIN LEVEL
CONSTRUCTION PLAN**

Scale 3/16" = 1'-0" Drawn by JSR Verified by WPJ

Sheet # **A1.2**

Project # 14012

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DEMO NOTES

- THE GENERAL CONTRACTOR IS TO:
1. VISIT AND FAMILIARIZE HIMSELF AND VERIFY ALL EXISTING CONDITIONS AND VARIANCES PRIOR TO THE SUBMITTAL OF A PROPOSAL.
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11. PATCH & REPAIR ALL WALLS WHERE CONSTRUCTION HAS BEEN REMOVED.

**SRI LAKSHMI TEMPLE
NEW ADDITION**

117 WAVERLY STREET
ASHLAND, MA 01721



Architecture • Interior Design

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(617) 522-0718



1 MOUNT VERNON STREET
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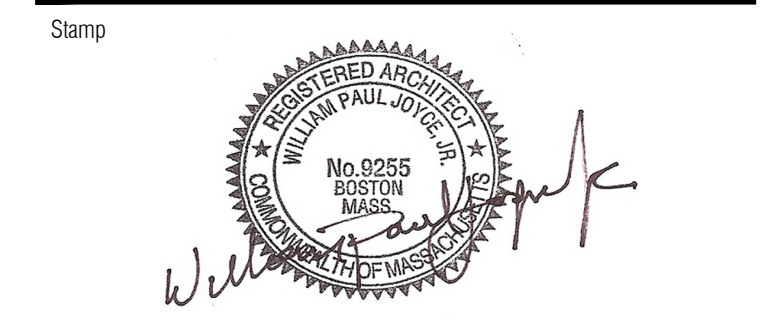
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Sheet Title

ROOF PLAN

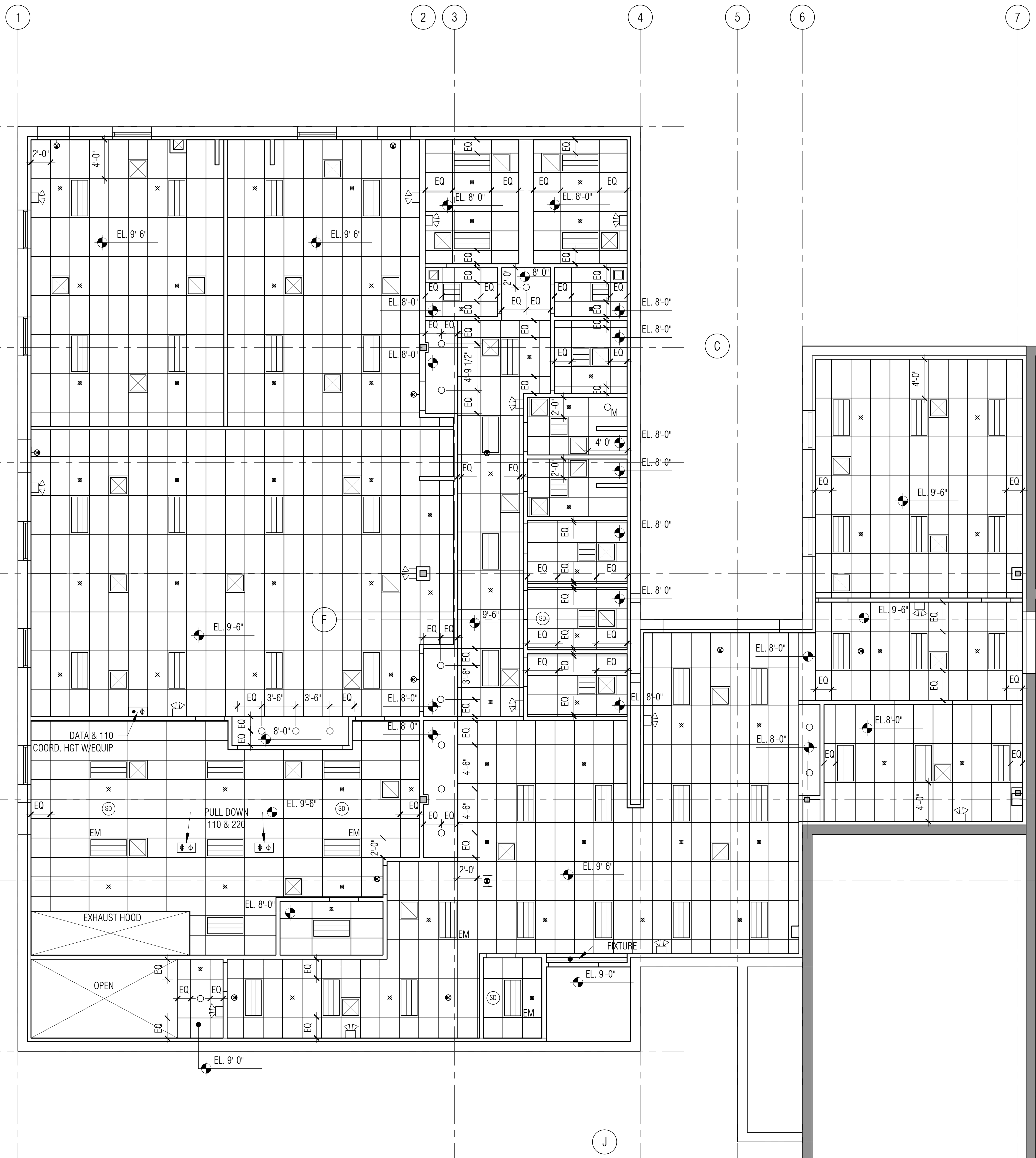
Scale 3/16" = 1'-0" Drawn by JSR Verified by WPU

Sheet #

A1.3

Project # 14012

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RCP LEGEND

- 2X2 FLOURESCENT LIGHT FIXTURE
- 2X2 FLOURESCENT LIGHT FIXTURE RECESSED FLOURESCENT DOWN LIGHT
- WALL MOUNTED FIXTURE
- PENDANT LIGHT FIXTURE
- 4'-0"/8'-0" FLOURESCENT STRIP LIGHT
- MOISTURE PROOF LIGHT FIXTURES
- FIRE ALARM HORN/STROBE
- FIRE ALARM STROBE ONLY
- SECURITY CAMERA
- WALL MOUNTED EMERGENCY LIGHT FIXTURE
- PHOTO ELECTRIC LIGHT SENSOR
- 2X2 SUPPLY
- 2X2 RETURN
- 2X2X4 WHITE MINERAL FIBER ACOUSTICAL TILE. SUSPENSION GRID SHALL BE 15/16" CEILING HEIGHTS AS NOTED.
- MOTION DETECTOR
- SMOKE DETECTOR
- WALL MOUNTED EXIT SIGN
- CEILING MOUNTED EXIT SIGN
- SPRINKLER HEAD
- RELOCATED SPRINKLER HEAD

FIXTURE SCHEDULE

- LIGHTOLIER CALCULTE OPEN DOWNLIGHT 8" APERTURE 8051CLP-6218HU-(2)18W QUAD TUBE
- 2X2 LIGHT FIXTURE LIGHTOLIER COFAIRE HP SERIES #CFSZGPF217LUNVHI 2 LAMP-17W STATIC AIR - 120V
- 2X4 LIGHT FIXTURE LIGHTOLIER COFAIRE HP SERIES # 2 LAMP-17W STATIC AIR - 120V
- WALL FIXTURE 2 FLOURESCENT FIXTURE
- FLUORESCENT

- GENERAL NOTES**
1. EMERGENCY LIGHT FIXTURES. PROVIDE SPEC SHEET TO ARCHITECT FOR APPROVAL.
 2. SMOKE DETECTORS. PROVIDE SPEC SHEET TO ARCHITECT FOR APPROVAL.
 3. COORDINATE W/CLIENT'S SECURITY VENDOR ON LOCATION OF CABLING & POWER REQUIRED FOR MOTION DETECTORS, TOUCH PADS AND CAMERAS.
 4. SWITCHING FOR ENTRY/LOBBY LIGHT FIXTURES NEED TO BE COORD. W/ CLIENT.
 5. ALL SWITCH LOCATIONS TO BE REVIEWED W/ARCHITECT PRIOR TO INSTALLATION.
 6. PROVIDE SMOKE DETECTORS & HEAT DETECTORS AS REQUIRED BY CODE.

SPECIFICATIONS

ACOUSTICAL CEILING TILE:
 ARMSTRONG COMMERCIAL CEILING OR EQUAL
 OPTIMA OPEN PLAN
 24"X48" REGULAR
 #3250 COLOR: WHITE
 NRC: 95/AC: 190
 1/4" GRID - WHITE

**SRI LAKSHMI TEMPLE
NEW ADDITION**

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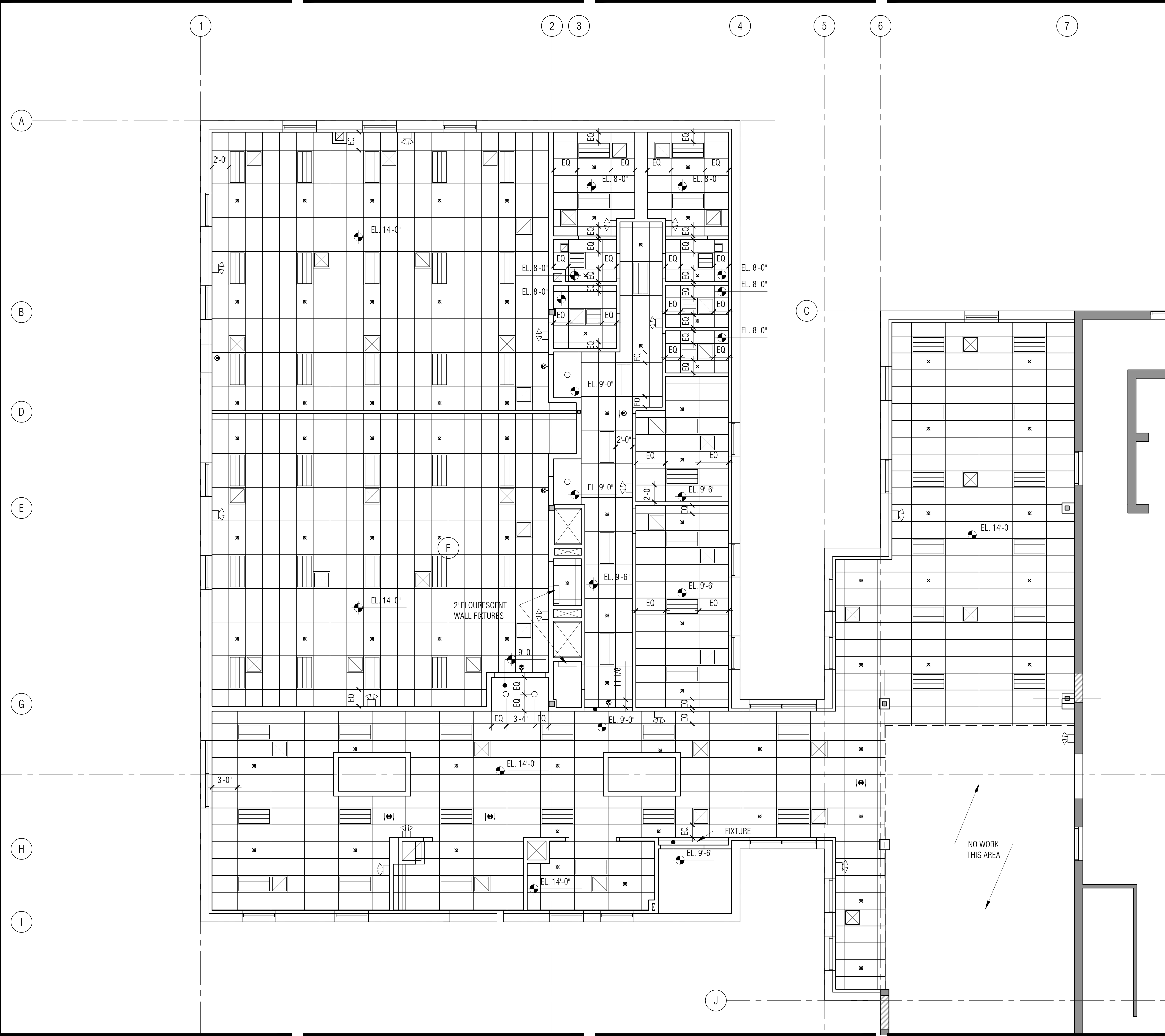
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**LOWER LEVEL
REFLECTED CEILING PLAN**

Scale	Drawn by	Verified by
3/16" = 1'-0"	JSR	WPU
Sheet #	A2.0	
Project #	14012	

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RCP LEGEND

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- 2X2 FLOURESCENT LIGHT FIXTURE RECESSED FLOURESCENT DOWN LIGHT
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- FIRE ALARM STROBE ONLY
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- 2X2X4 WHITE MINERAL FIBER ACOUSTICAL TILE. SUSPENSION GRID SHALL BE 15/16" CEILING HEIGHTS AS NOTED.
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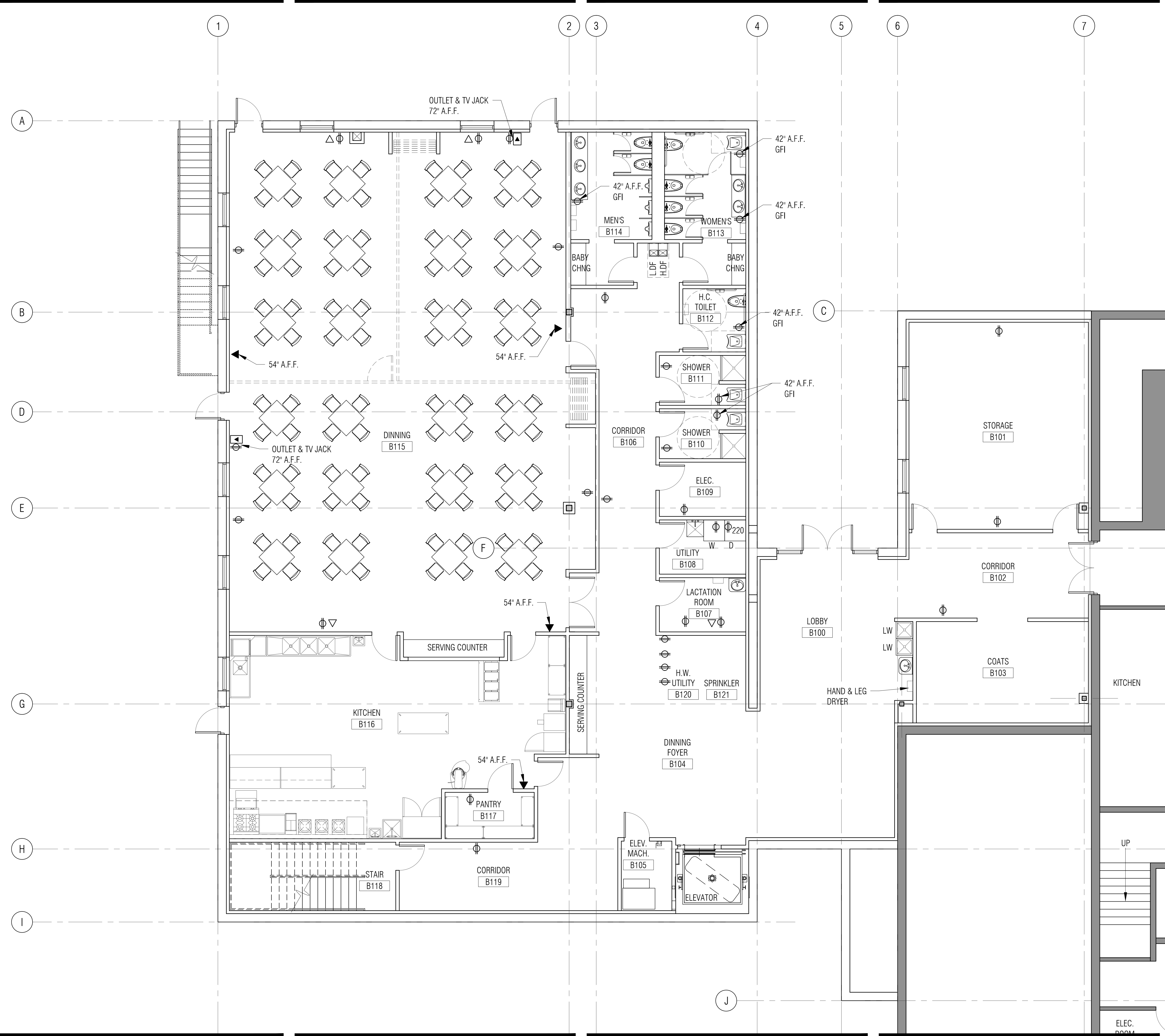
**MAIN LEVEL
REFLECTED CEILING PLAN**

Scale 3/16" = 1'-0"	Drawn by JSR	Verified by WPU
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Project # 14012

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GENERAL NOTES

- THE GENERAL CONTRACTOR IS TO:
1. ELECTRICAL / TELEPHONE RECEPTACLES, LIGHT FIXTURES AND ETC. ARE SHOWN ON ARCHITECTURAL DRAWINGS FOR LOCATIONS AND DIMENSIONS. OUTLETS SHALL BE LOCATED AS PER ARCHITECTURE DRAWINGS AND CIRCUITED AS PER ELECTRICAL ENGINEER'S DRAWINGS.
 2. OUTLETS SHALL BE LOCATED AS PER ARCHITECTURE DRAWINGS AND CIRCUITED AS PER ELECTRICAL ENGINEER'S DRAWINGS. COORDINATE THE ARCHITECTURAL DRAWINGS WITH THE ELECTRICAL ENGINEER'S DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 3. POWER, VOICE, SWITCHES & DATA OUTLETS SHALL BE NEW U.O.N.
 4. WALL MOUNTED OUTLETS SHOWN GROUPED (I.E. TWO OR MORE OUTLETS WITH ONE GIVEN DIMENSION) SHALL BE GANGED.
 5. OUTLETS SHOWN BACK TO BACK SHALL BE STAGGERED.
 6. OUTLETS AND COVER PLATES COLOR ON THE FINISH PLAN. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.
 7. THE CONTRACTOR SHALL COORDINATE SUB-CONTRACTORS FOR INSTALLATION OF RECEPTACLES IN MILLWORK ELECTRICAL AND TELEPHONE REQUIRED.
 8. MOUNT OUTLET 18" ON CENTER ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
 9. FURNITURE, FIXTURES AND EQUIPMENT ARE SHOWN FOR REFERENCE ONLY. (N/C) UNLESS OTHERWISE NOTED.
 10. AT ALL NEW TEL/DATA OUTLETS, ELECTRICIAN TO PROVIDE SINGLE GANG BOX, AND PROVIDE RING AND STRING.
 11. COORDINATE W/ CLIENT'S SECURITY VENDOR ON LOCATION, CABLING & POWER REQUIREMENTS FOR TOUCH PADS & BANK BUTTONS & CAMERAS.
 12. COORDINATE W/ CLIENT'S IT VENDOR ON POWER & CABLING FOR VOICE/DATA REQUIREMENTS.

**SRI LAKSHMI TEMPLE
NEW ADDITION**

117 WAVERLY STREET
ASHLAND, MA 01721



Architecture • Interior Design

111 PERKINS STREET SUITE 215
BOSTON MA 02130
(617) 522-0718



1 MOUNT VERNON STREET
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781-729-6188



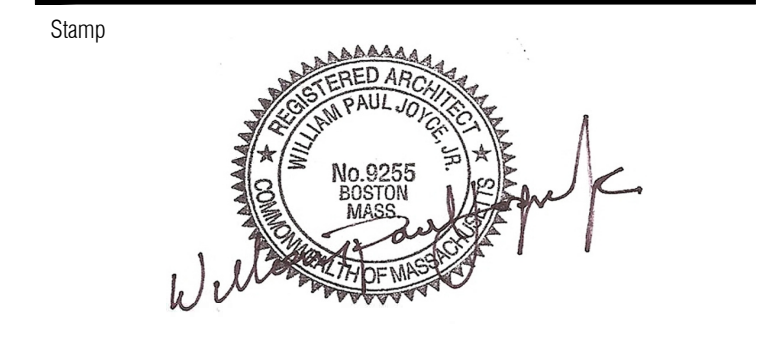
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Massachusetts
100 Concord Street Suite 3C Framingham, MA 01702
Tel: (508) 626-9222 Fax: (508) 626-0440

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Issue	Date
PERMIT SET (CORE & SHELL)	10.15.2014



Sheet Title

**LOWER LEVEL
POWER/DATA PLAN**

Scale: 3/16" = 1'-0"
Drawn by: JSR
Verified by: WPU

Sheet #

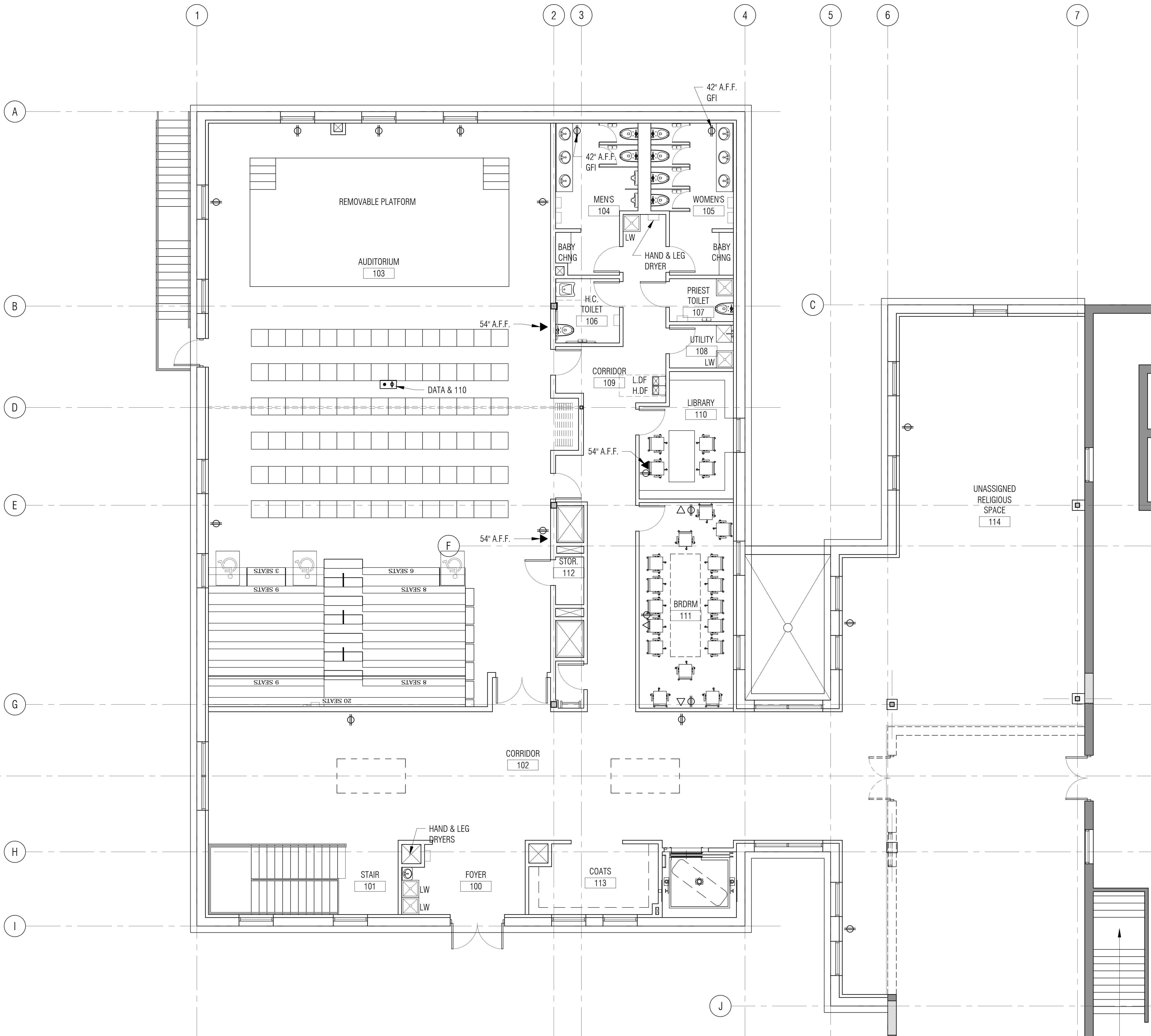
A3.0

Project # 14012

LEGEND

	DUPLEX
	QUAD
	DATA - CAT 6 CABLE - 2 JACKS
	TELEPHONE - CAT 5 CABLE
	FIRE ALARM HORN/STROBE
	FIRE ALARM STROBE
	TV JACK
	CORE - TEL / DATA COMBINATION
	JUNCTION BOX
	POWER/DATA FLUSH MOUNTED FLOOR BOX
	TOUCH PAD
	PANIC BUTTON

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GENERAL NOTES

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LEGEND

	DUPLEX
	QUAD
	DATA- CAT 6 CABLE - 2 JACKS
	TELEPHONE- CAT 6 CABLE
	FIRE ALARM HORN/STROBE
	FIRE ALARM STROBE
	TV JACK
	CORE - TEL / DATA COMBINATION
	JUNCTION BOX
	POWER/DATA FLUSH MOUNTED FLOOR BOX
	TOUCH PAD
	PANIC BUTTON

**SRI LAKSHMI TEMPLE
NEW ADDITION**

117 WAVERLY STREET
ASHLAND, MA 01721



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Massachusetts
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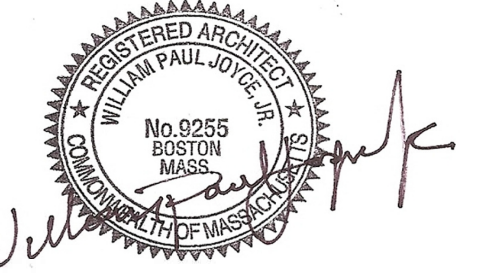
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PERMIT SET (CORE & SHELL)	10.15.2014

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Sheet Title

**MAIN LEVEL
POWER/DATA PLAN**

Scale 3/16" = 1'-0" Drawn by JSR Verified by WPU

Sheet #

A3.1

Project #

14012

SRI LAKSHMI TEMPLE
NEW ADDITION

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ASHLAND, MA 01721

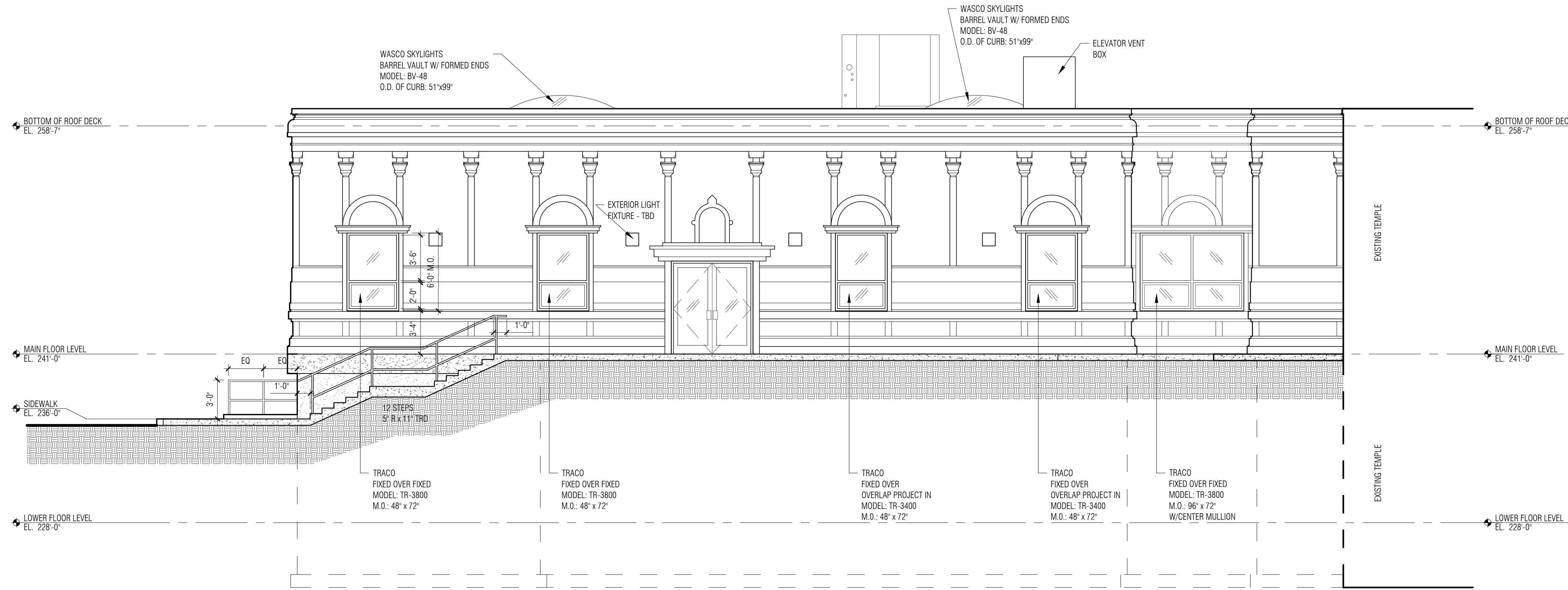
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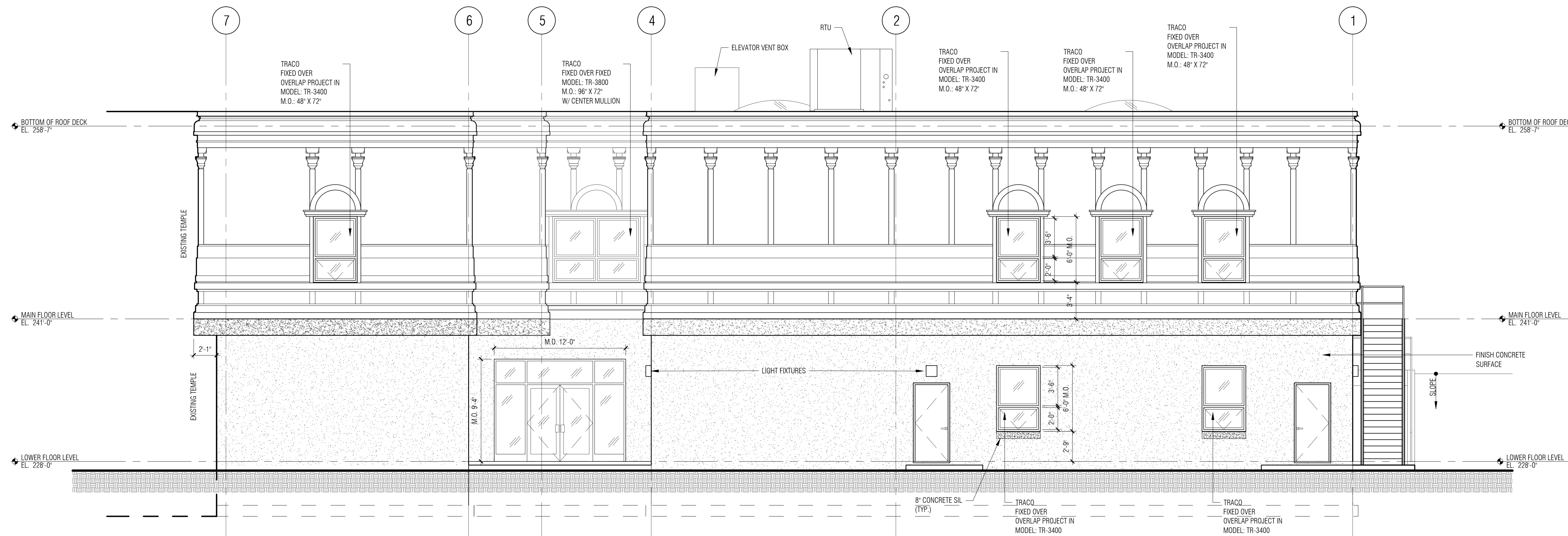
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A NORTH ELEVATION
SCALE: 3/16" = 1'-0"
* SEE CIVIL ENGINEERING DWGS FOR SITE WORK *



B SOUTH ELEVATION
SCALE: 3/16" = 1'-0"
* SEE CIVIL ENGINEERING DWGS FOR SITE WORK *

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Professional Architect Seal for William Paul Joyce, No. 9255, State of Massachusetts.

Sheet Title
EXTERIOR ELEVATIONS

Scale: NTS
Drawn by: JSR
Verified by: WPU

Sheet #
A4.0
Project #
1401122

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NEW ADDITION

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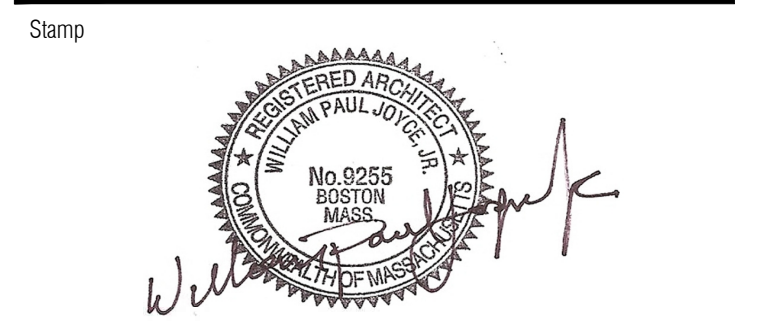
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Issue	Date
PERMIT SET (CORE & SHELL)	10.15.2014



Sheet Title

EXTERIOR
ELEVATIONS

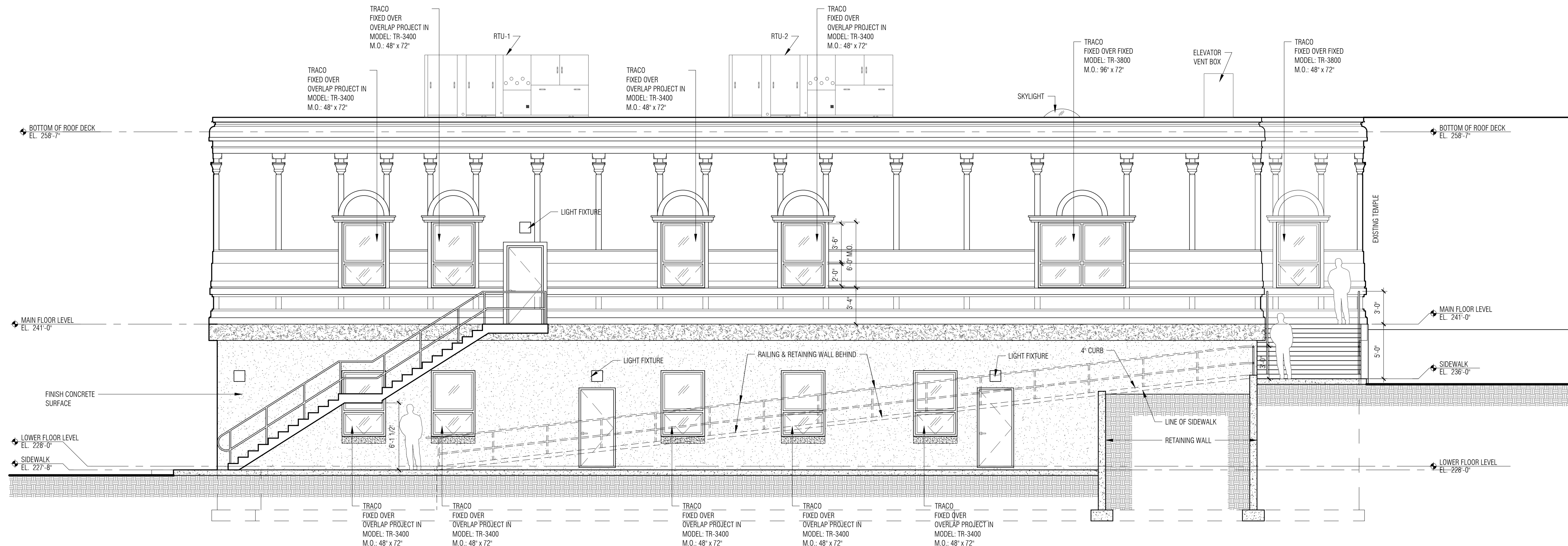
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NTS	JSR	WPU

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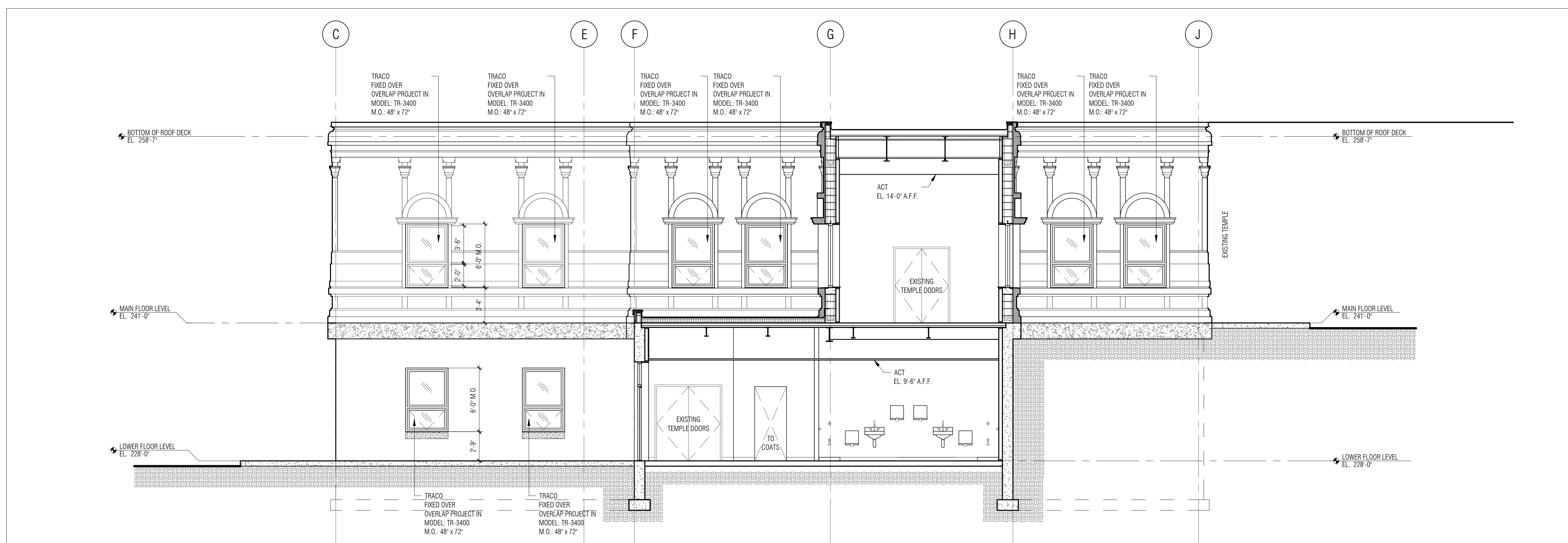
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Project # 140122

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C WEST ELEVATION 1
SCALE: 3/16" = 1'-0" * SEE CIVIL ENGINEERING DWGS FOR SITE WORK *



D WEST ELEVATION 2
SCALE: 3/16" = 1'-0" * SEE CIVIL ENGINEERING DWGS FOR SITE WORK *

SRI LAKSHMI TEMPLE
NEW ADDITION

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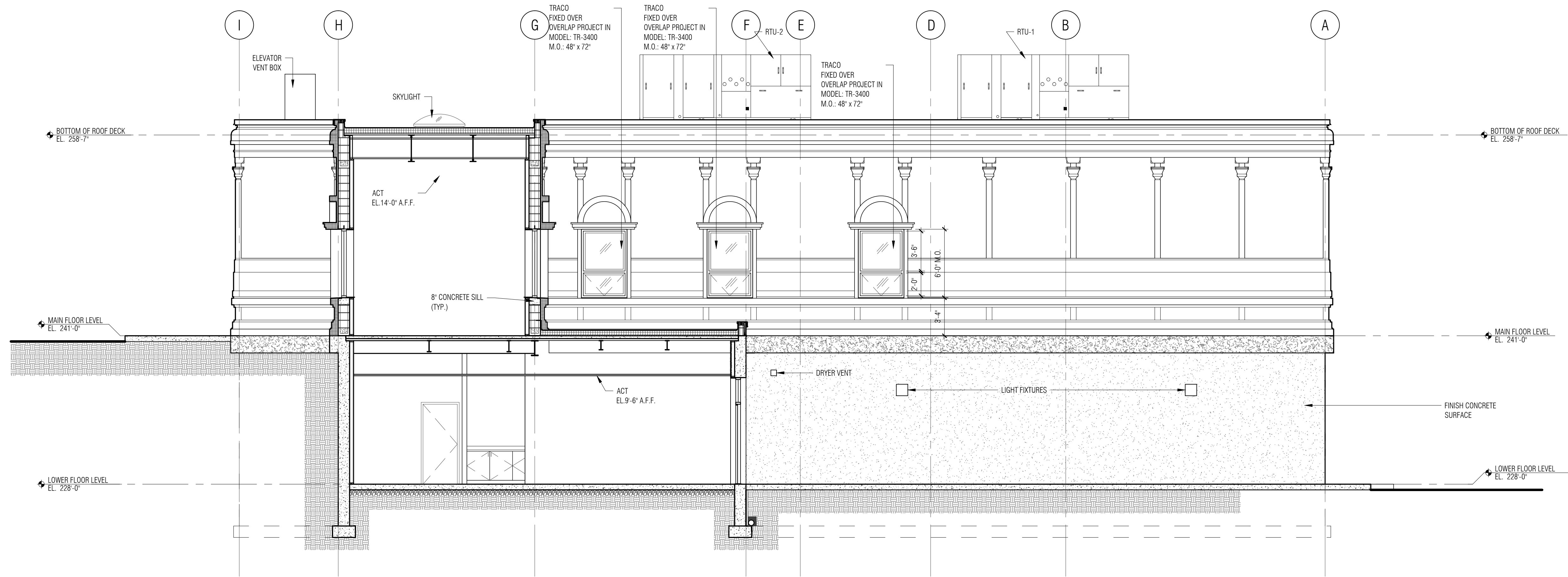
EXTERIOR
ELEVATIONS

Scale: NTS Drawn by: JSR Verified by: WPU

Sheet #

A4.2

Project # 14012



E EAST ELEVATION
SCALE: 3/16" = 1'-0"
* SEE CIVIL ENGINEERING DWGS FOR SITE WORK *

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SRI LAKSHMI TEMPLE
NEW ADDITION

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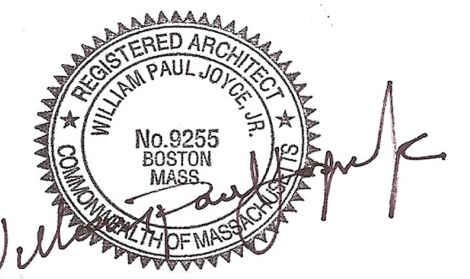
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Sheet Title

BUILDING SECTIONS

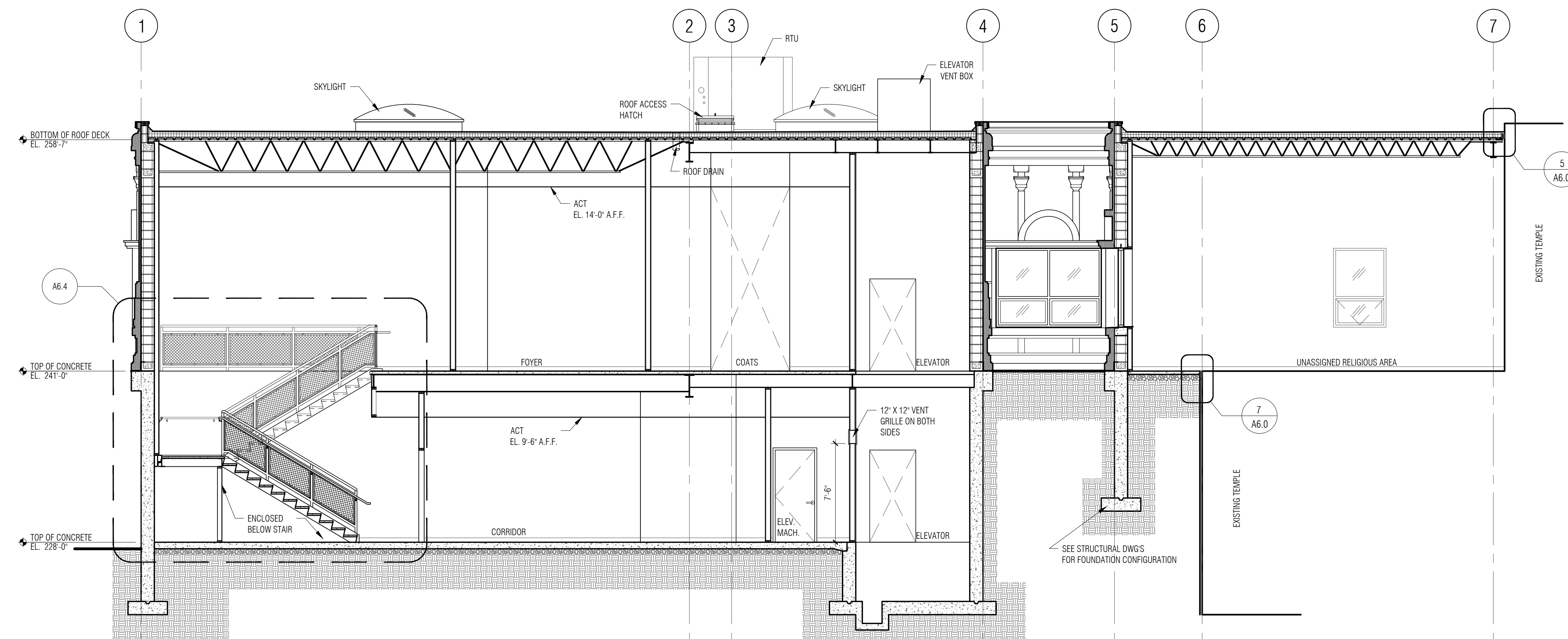
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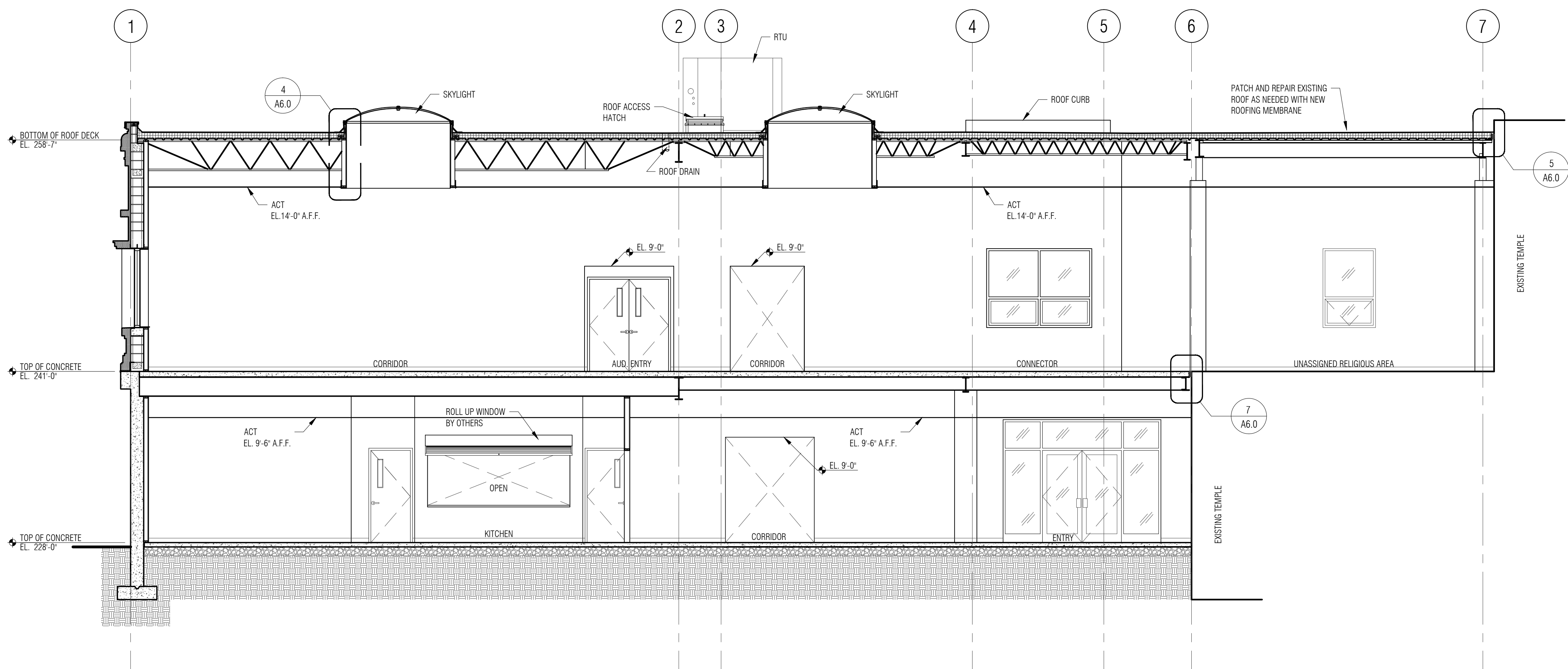
A5.0

Project #

14012



A
A1.0
CROSS SECTION THRU STAIR/ELEVATOR
SCALE: 3/16" = 1'-0"



B
A1.0
CROSS SECTION THRU LINK
SCALE: 3/16" = 1'-0"

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NEW ADDITION

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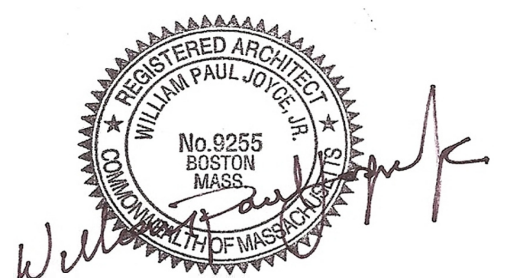
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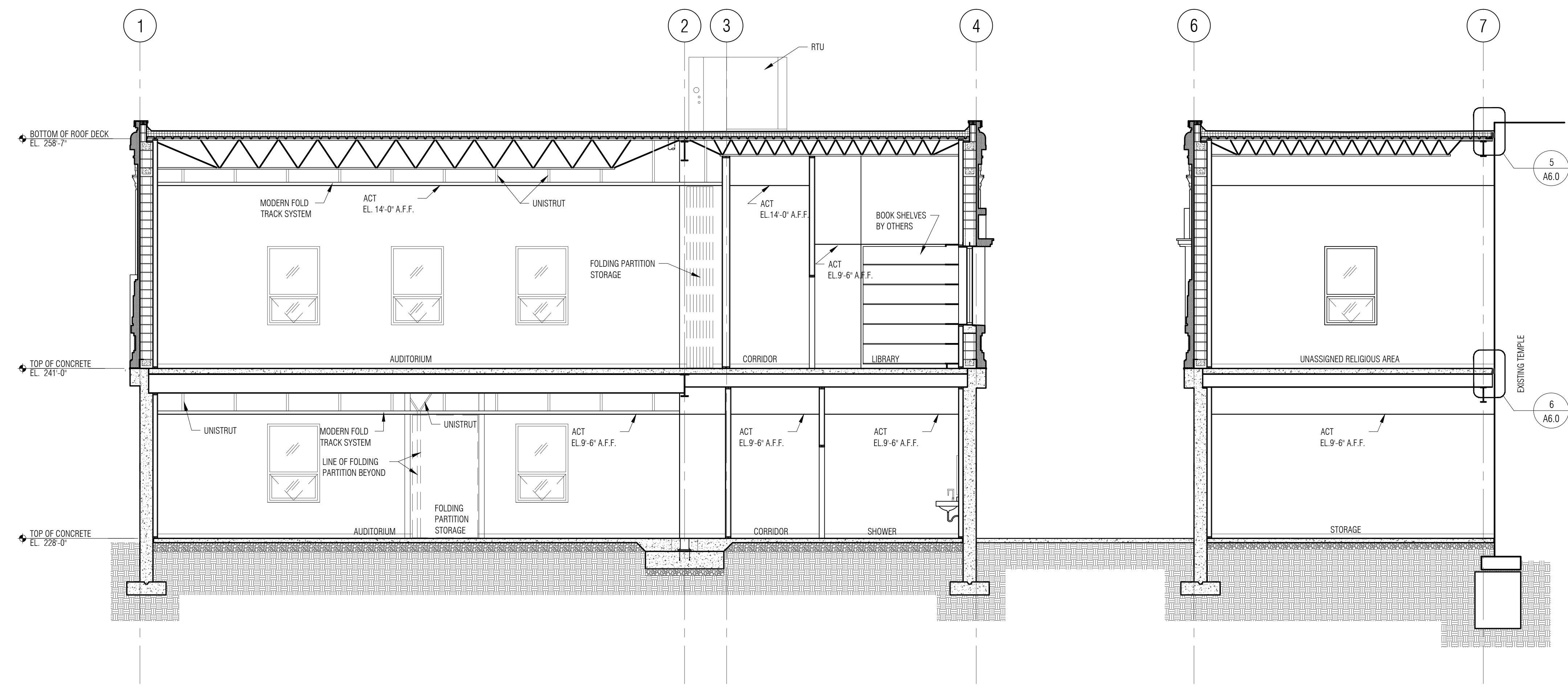
BUILDING SECTIONS

Scale: NTS
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 Verified by: WPU

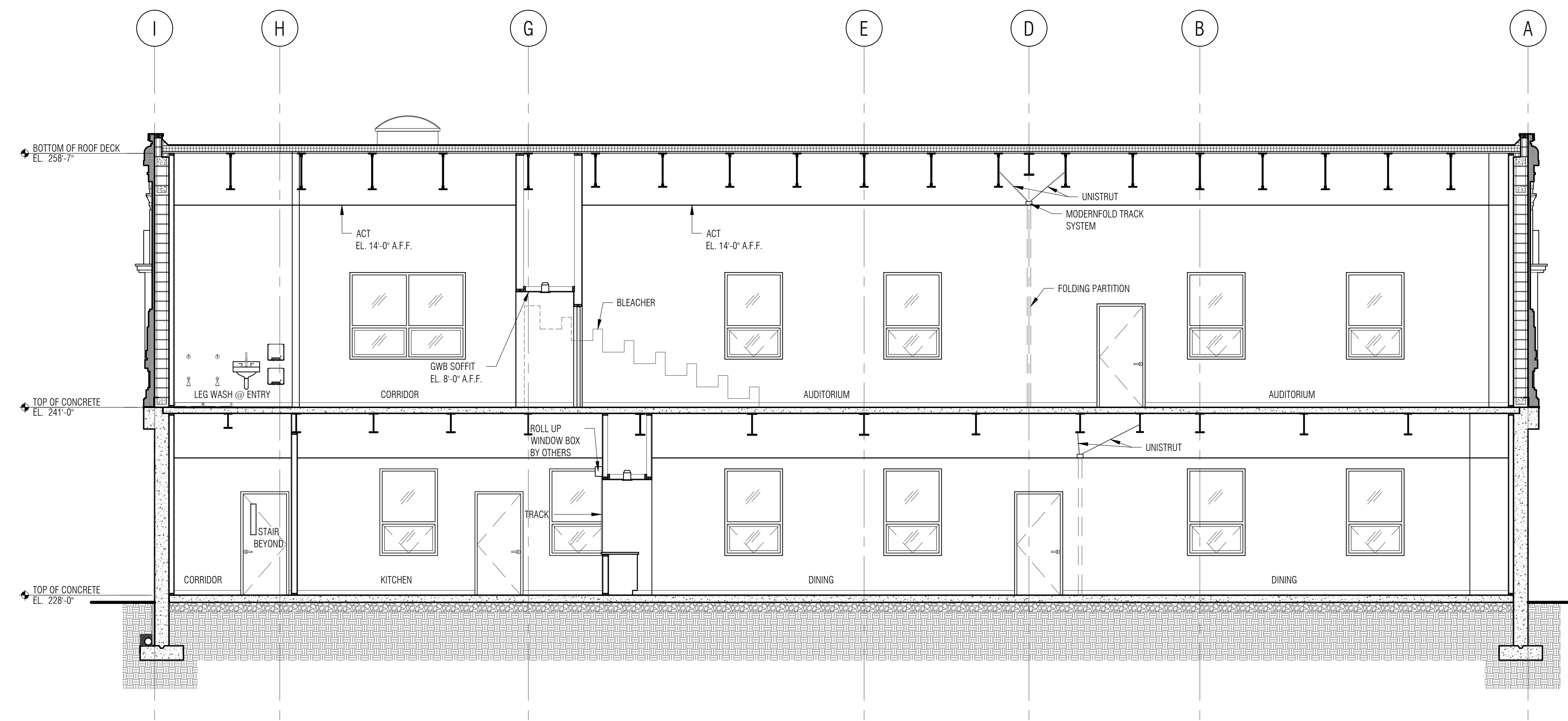
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A5.1

Project # 14012



C
A1.0
BUILDING CROSS SECTION
SCALE: 3/16" = 1'-0"



D
A1.0
BUILDING CROSS SECTION
SCALE: 3/16" = 1'-0"

SRI LAKSHMI TEMPLE
NEW ADDITION

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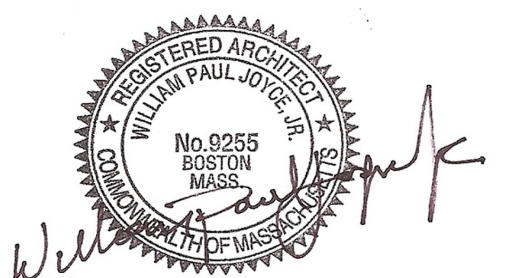
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BUILDING SECTIONS

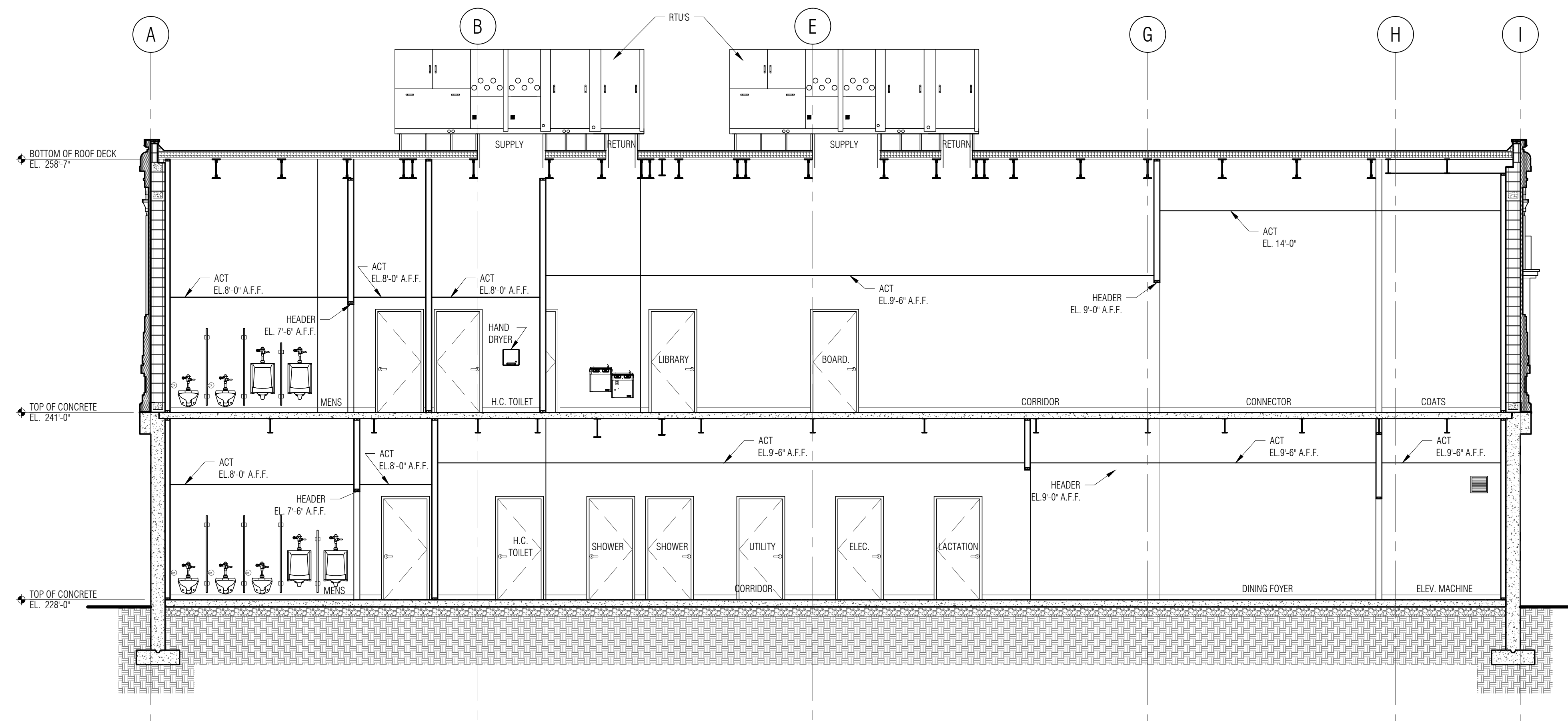
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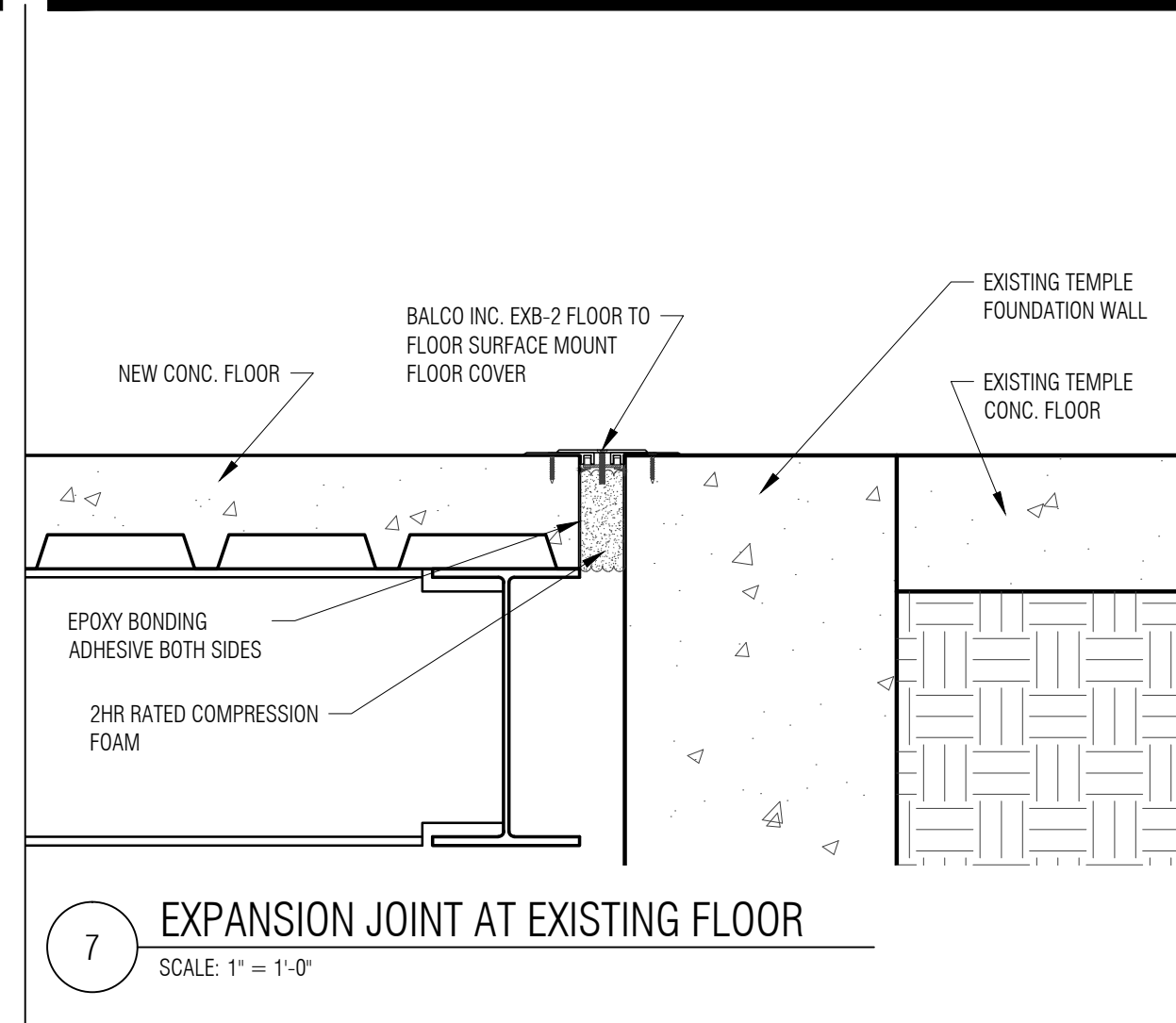
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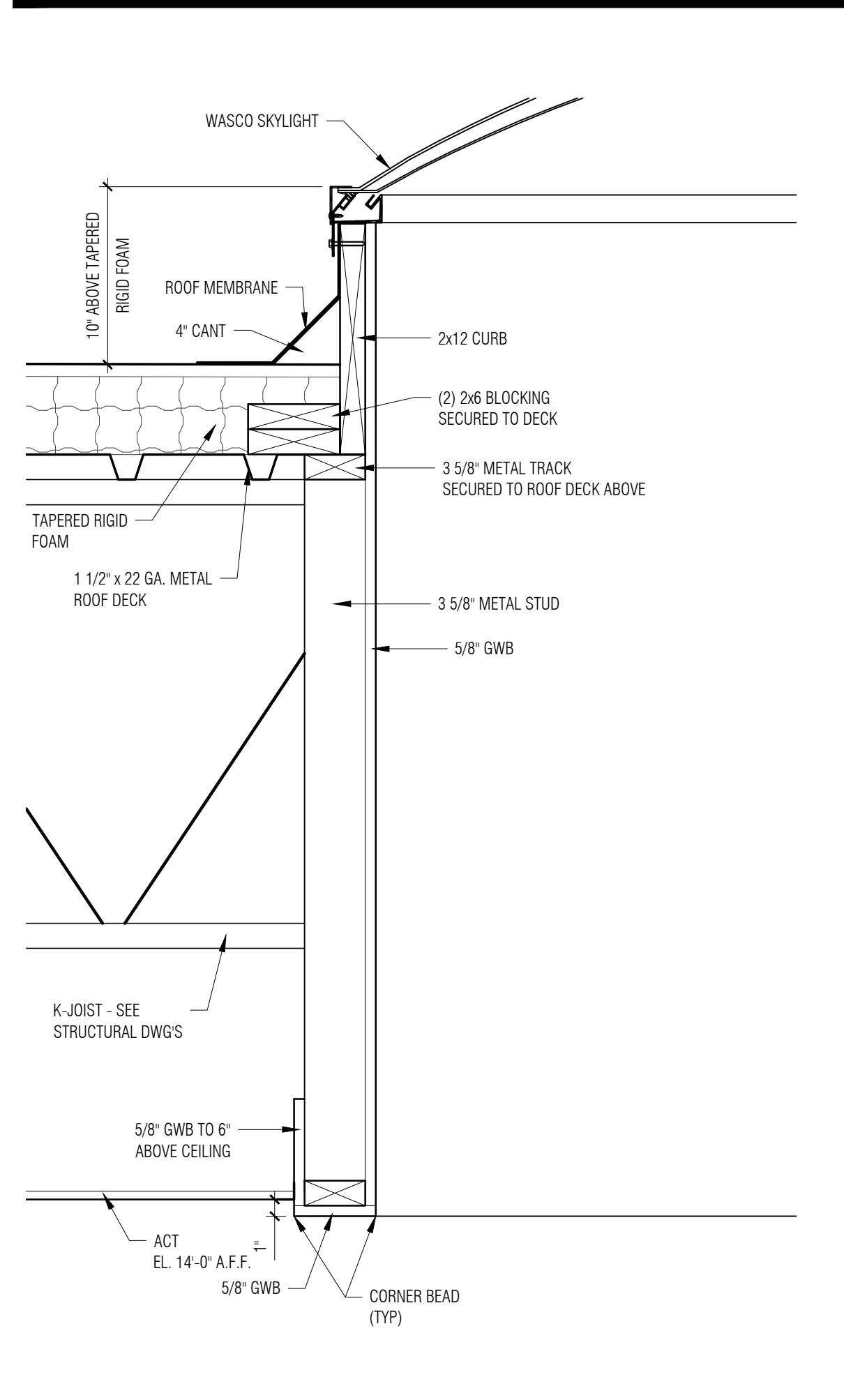
14012



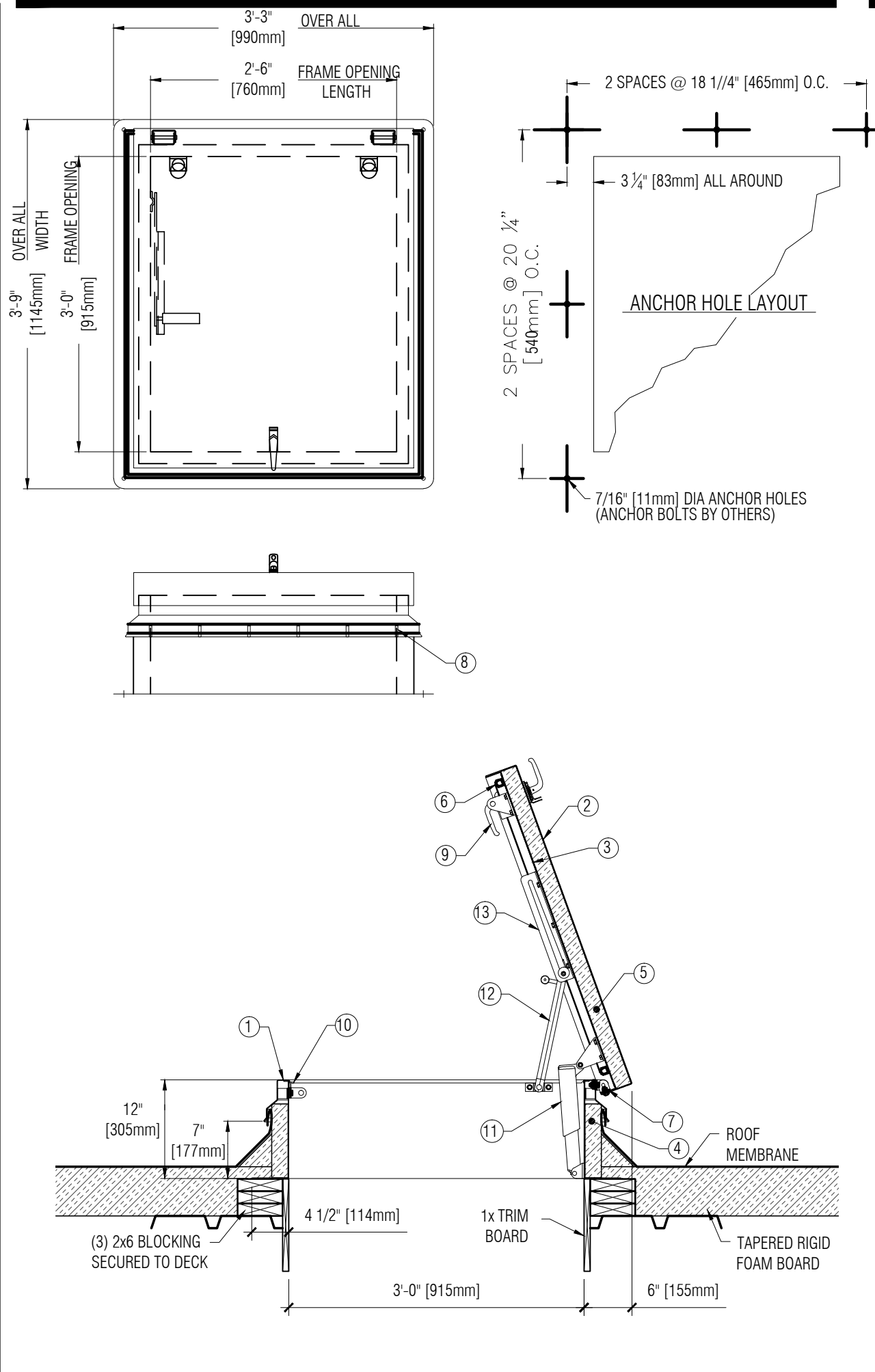
BUILDING CROSS SECTION
SCALE: 3/16" = 1'-0"



7 EXPANSION JOINT AT EXISTING FLOOR
SCALE: 1" = 1'-0"



4 SKYLIGHT FRAMING DETAIL
SCALE: 3/4" = 1'-0"



1 BILCO ROOF ACCESS HATCH
SCALE: 3/4" = 1'-0"

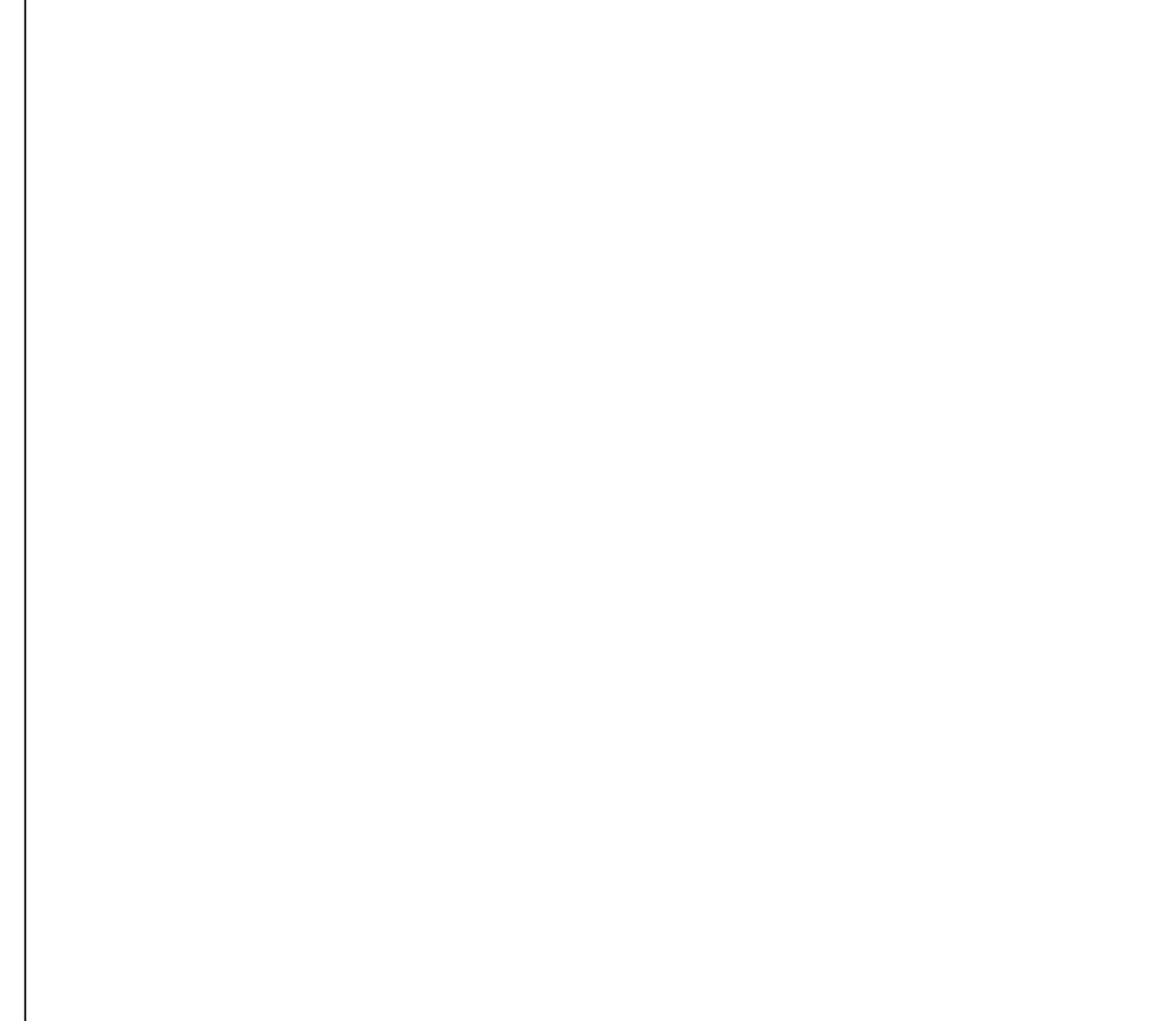
- SPECIFICATIONS**
- Curb w/integral caplashing - 11 Ga. Aluminum (corners fully welded)
 - Cover - 11 Ga. Aluminum
 - Cover Liner - 18 Ga. Aluminum
 - 2" (50mm) Polyisocyanurate Curb Insulation
 - 2" (50mm) Polyisocyanurate Cover Insulation
 - EPDM Gasket (all around Cover)
 - Pintle Hinge - Stainless Steel Type 316
 - Bilclip® flashing system
 - Slam Latch with inside and outside handles w/padlock hasps
 - Lock strike and padlock hasp
 - Lifting mechanism with reinforced composite tubes and compression springs
 - Automatic hold open arm with red vinyl grip and cover release
 - Arm guide bracket

SHOP FINISH
Aluminum: Mill Finish
Hardware: Corrosion Resistant (unless otherwise specified)

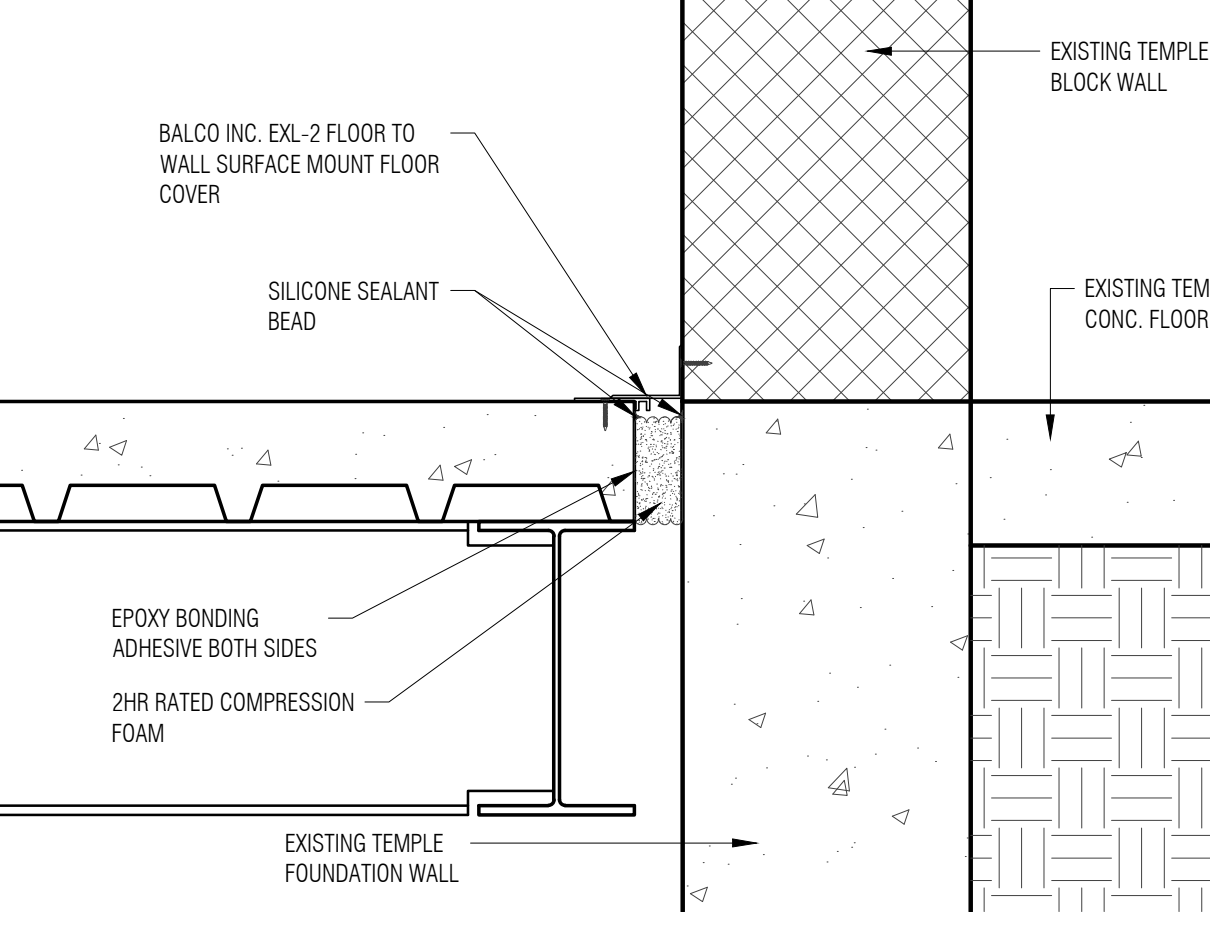
NOTES:

- This product may be installed on either a flat or sloping roof. When installed on a slope, the hinge side must run parallel with the slope. If slope exceeds 30°, advise factory for modification.
- Full specifications are available on website: www.bilco.com

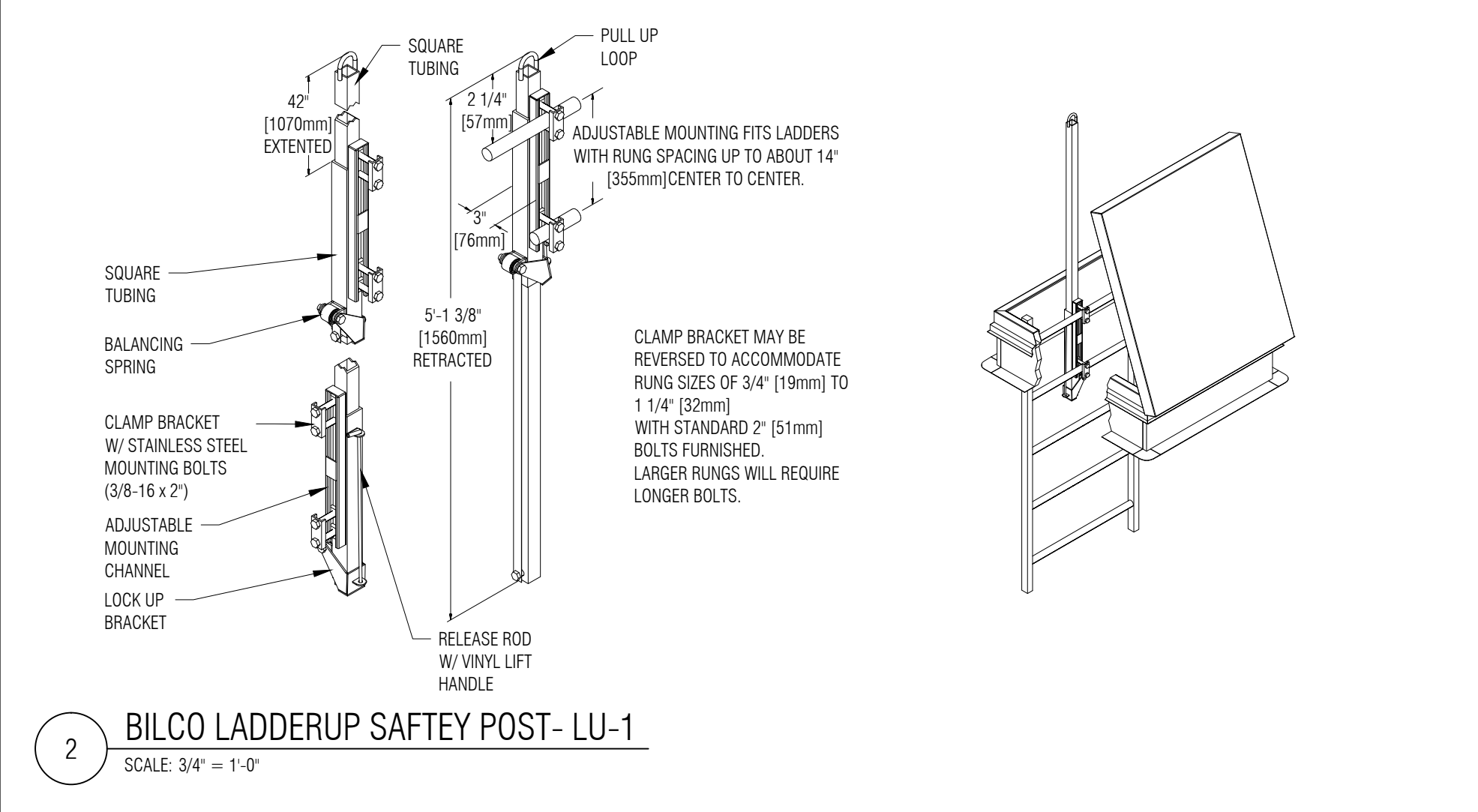
SINGLE LEAF ROOF ACCESS HATCH
TYPE S-50T SIZE 3'-0" x 2'-6"



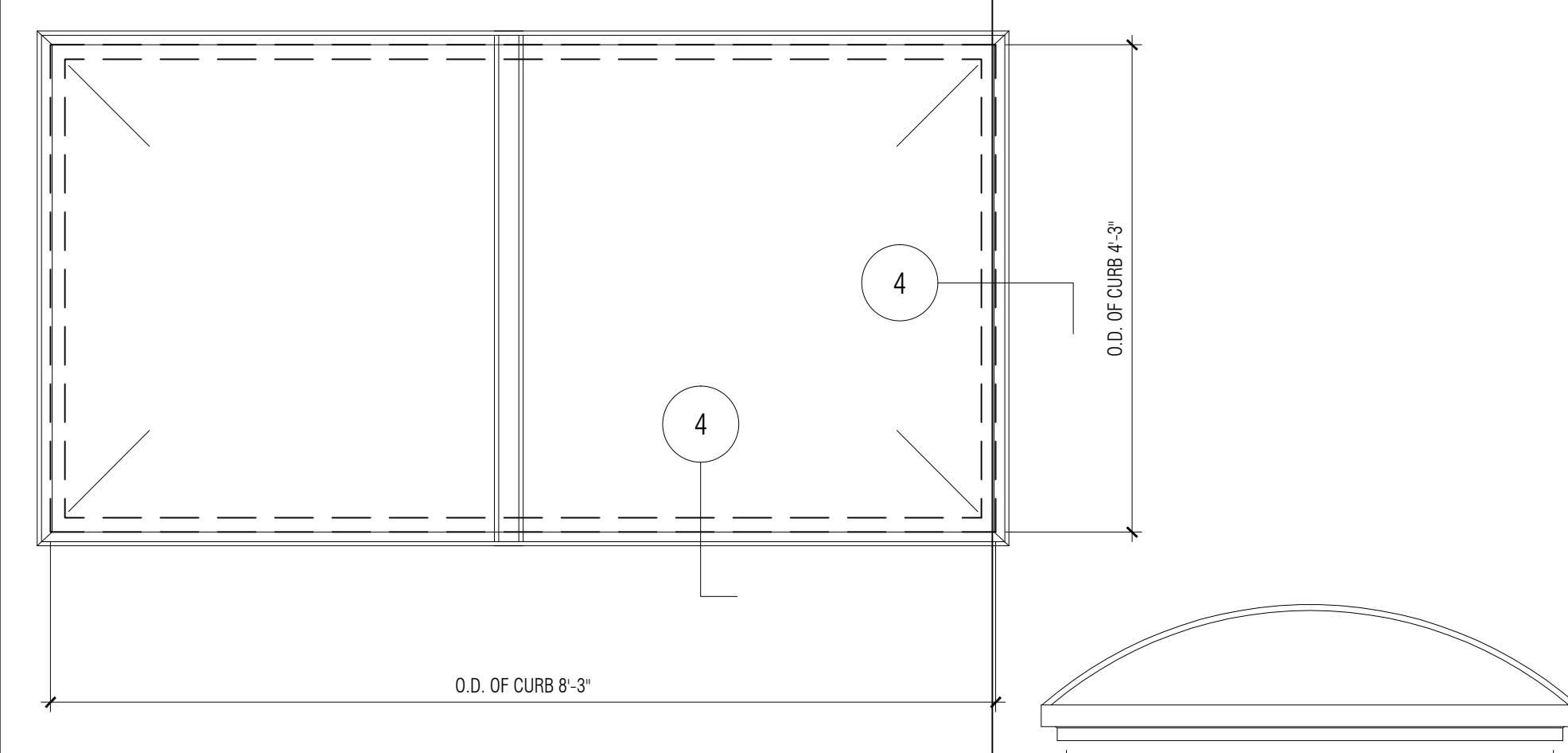
5 EXPANSION JOINT AT ROOF
SCALE: 1" = 1'-0"



6 EXPANSION JOINT AT EXISTING TEMPLE WALL
SCALE: 1 1/2" = 1'-0"



2 BILCO LADDERUP SAFETY POST - LU-1
SCALE: 3/4" = 1'-0"



3 WASCO SKYLIGHT MODEL BV-48
SCALE: 3/4" = 1'-0"

**SRI LAKSHMI TEMPLE
NEW ADDITION**

117 WAVERLY STREET
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Sheet Title
BUILDING DETAILS

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 Drawn by: JSR
 Verified by: WPU

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A6.0
 Project # 14012

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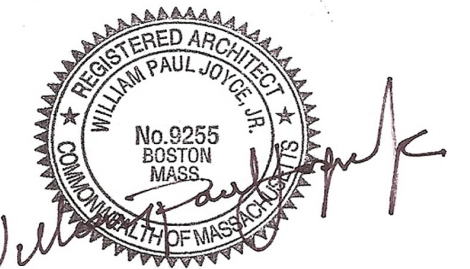
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Sheet Title

PLAN DETAILS
TOILET & SHOWERS

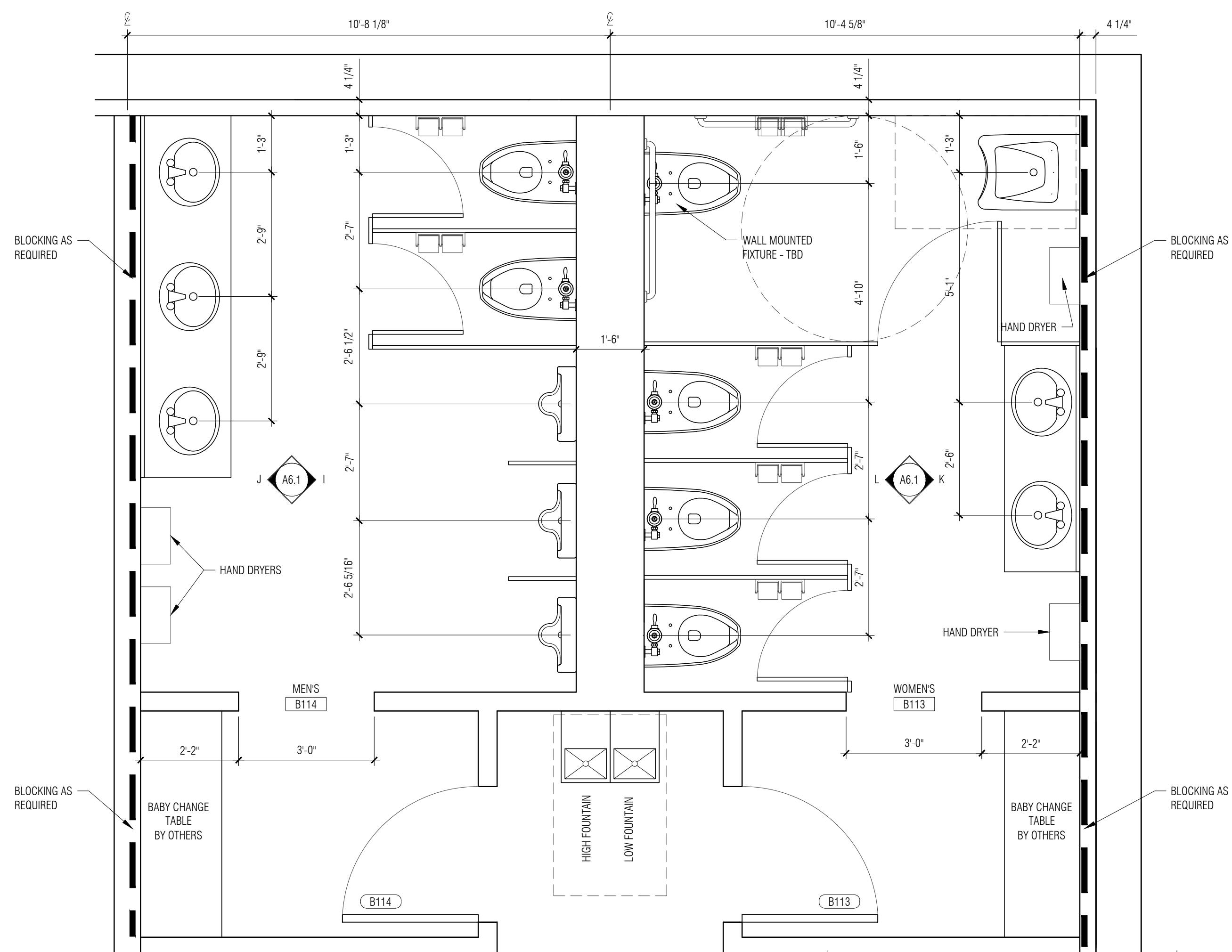
Scale AS SPECIFIED Drawn by JSR Verified by WPU

Sheet #

A6.1

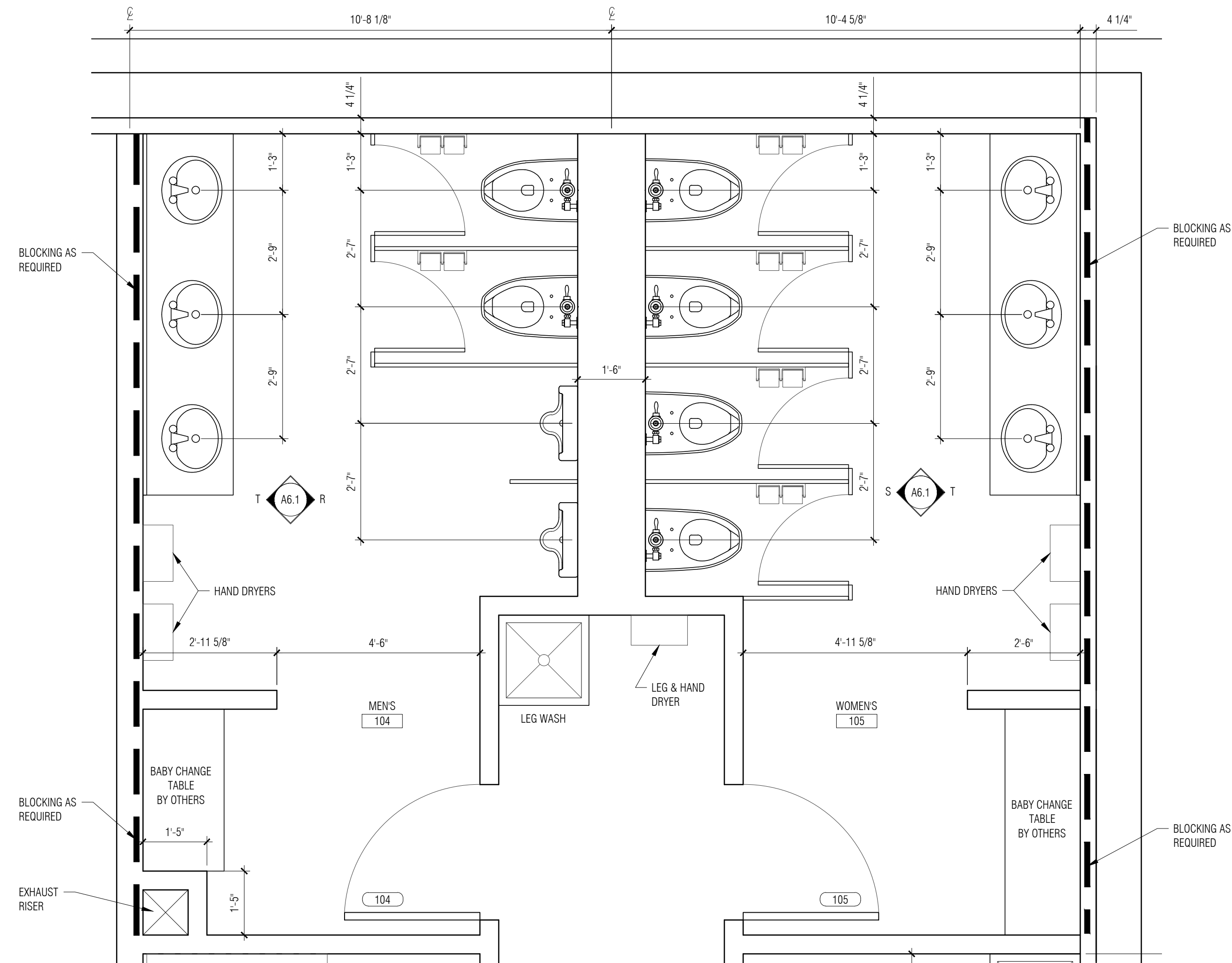
Project #

14012



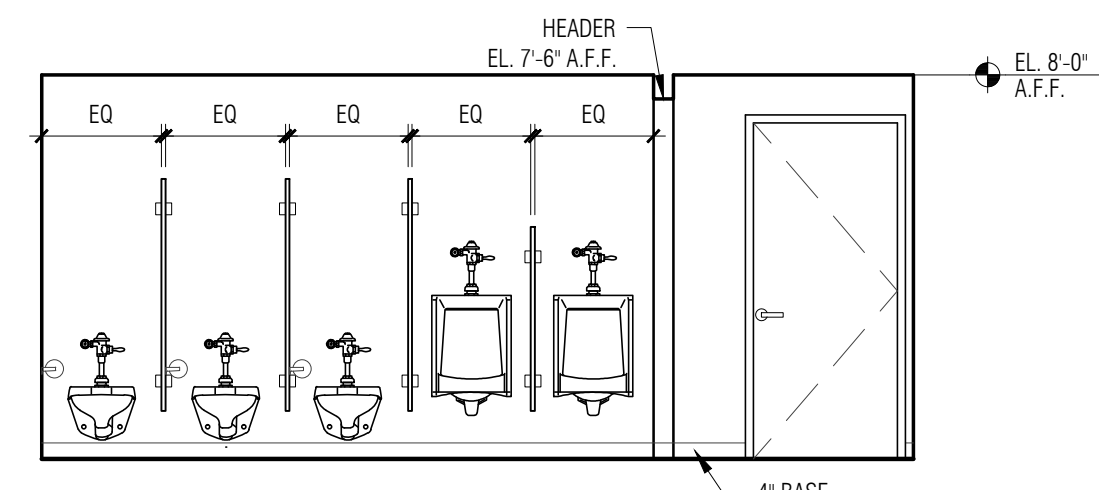
LOWER LEVEL TOILETS

SCALE: 1/2" = 1'-0"



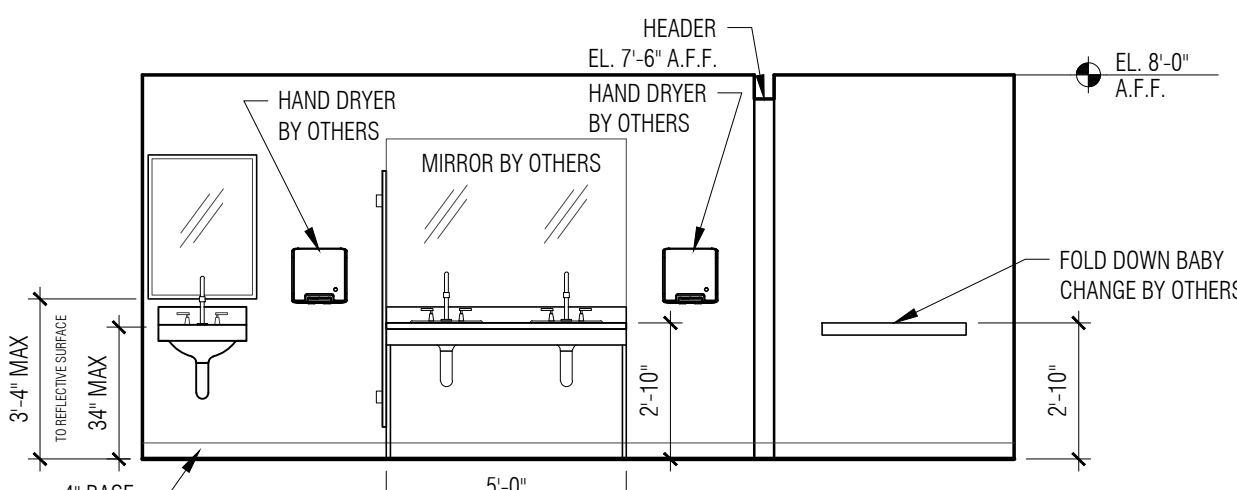
MAIN LEVEL TOILETS

SCALE: 1/2" = 1'-0"



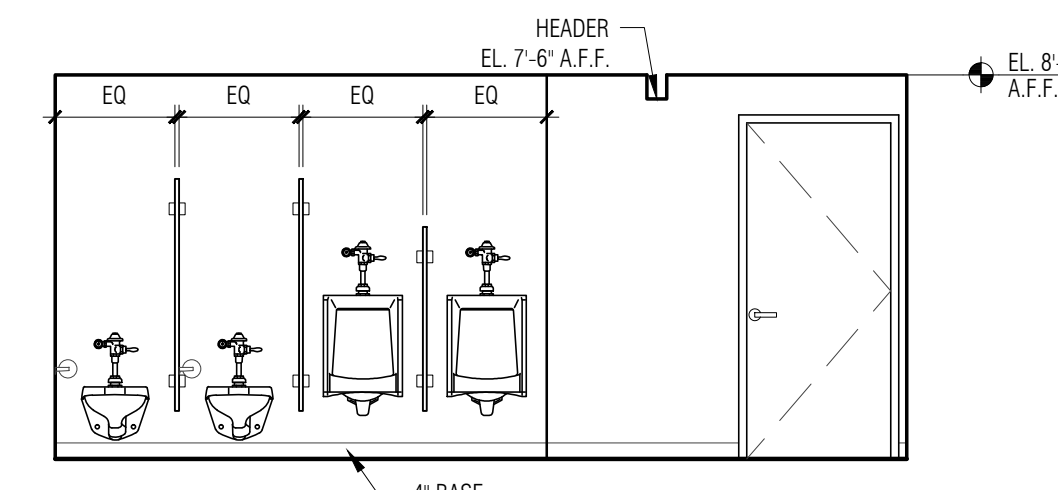
I LOWER LEVEL MEN'S

SCALE: 1/4" = 1'-0"



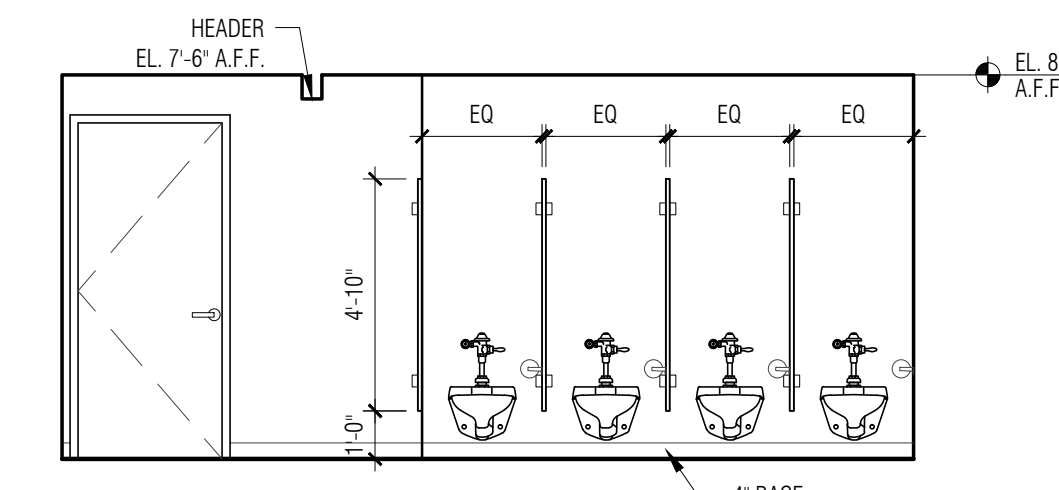
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SCALE: 1/4" = 1'-0"



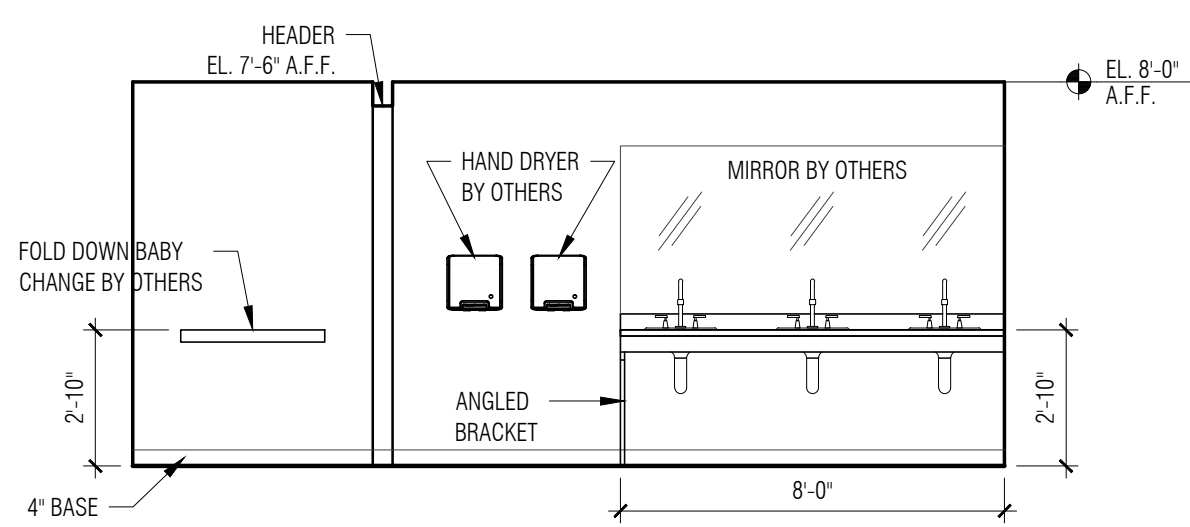
R MAIN LEVEL MEN'S

SCALE: 1/4" = 1'-0"



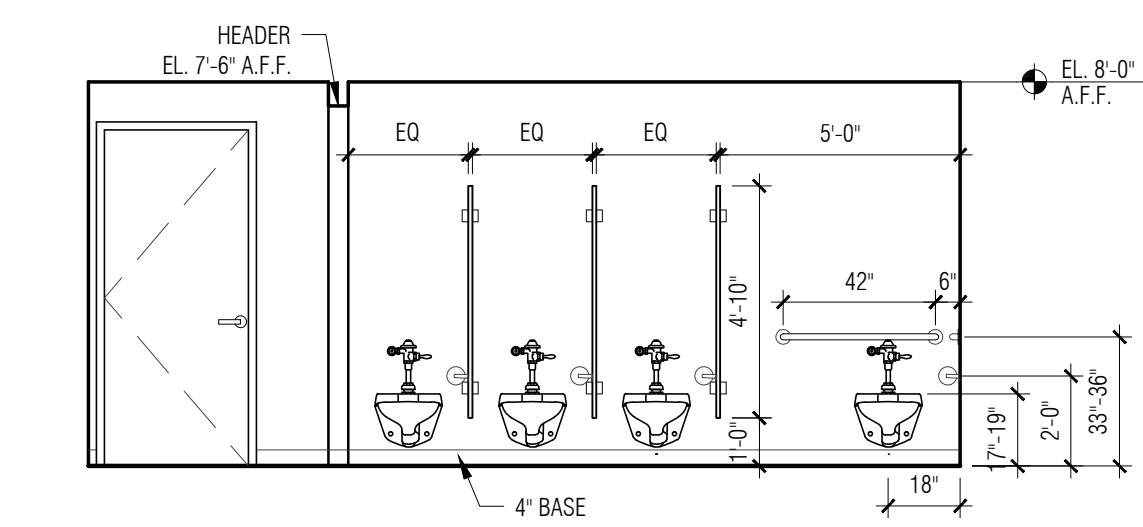
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SCALE: 1/4" = 1'-0"



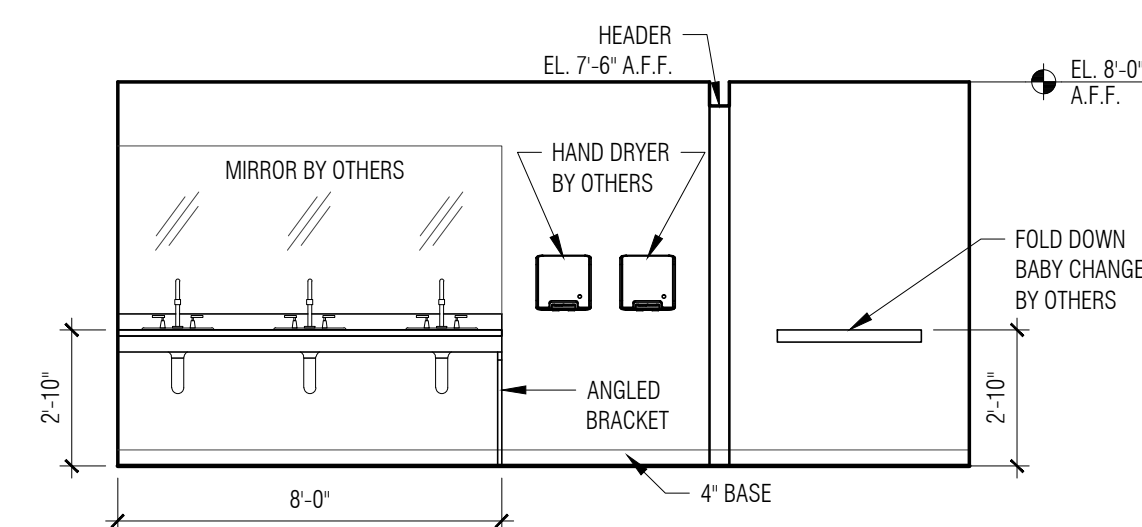
J LOWER LEVEL MEN'S

SCALE: 1/4" = 1'-0"



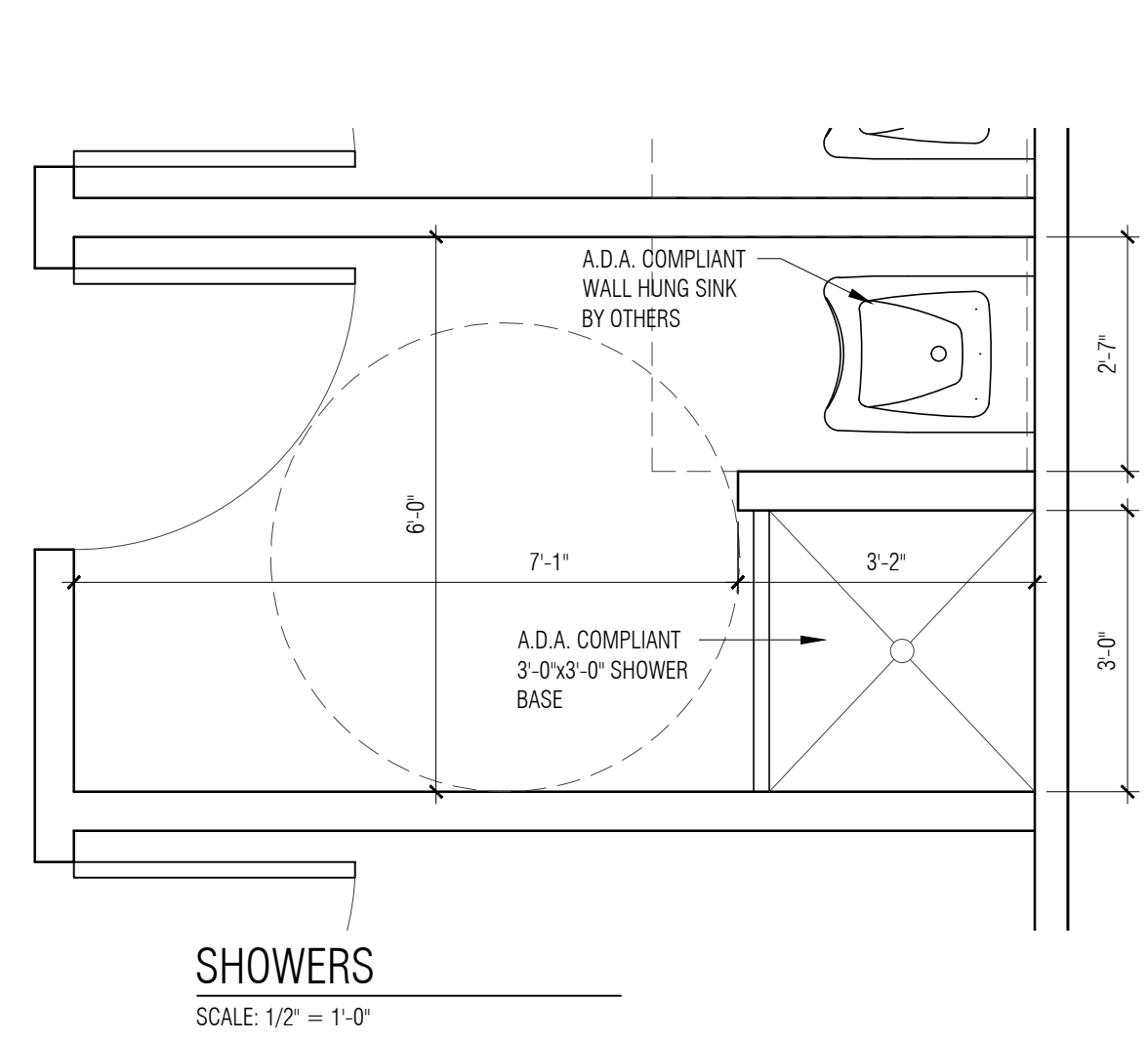
L LOWER LEVEL WOMEN'S

SCALE: 1/4" = 1'-0"

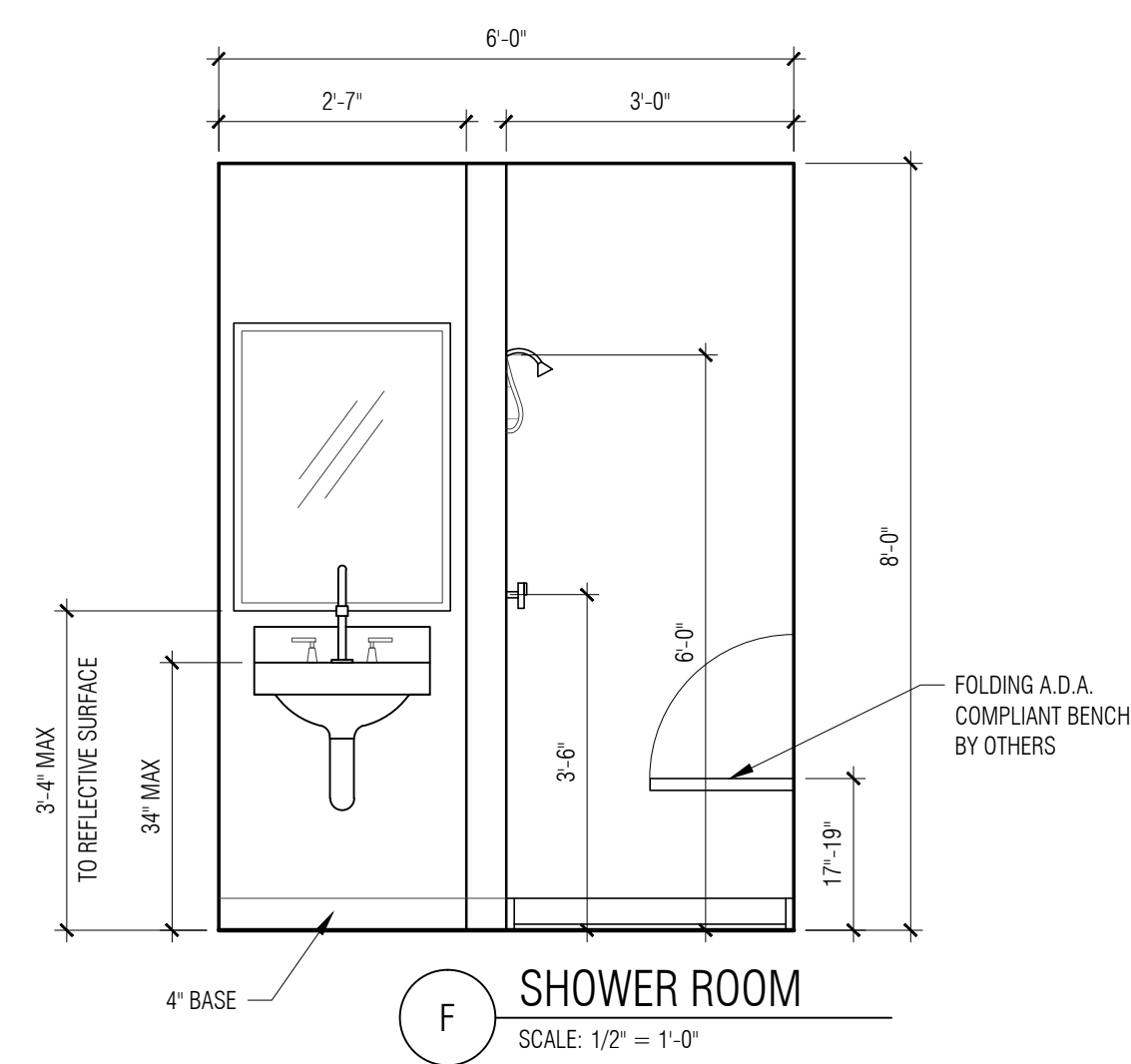


T MAIN LEVEL RESTROOM SINKS

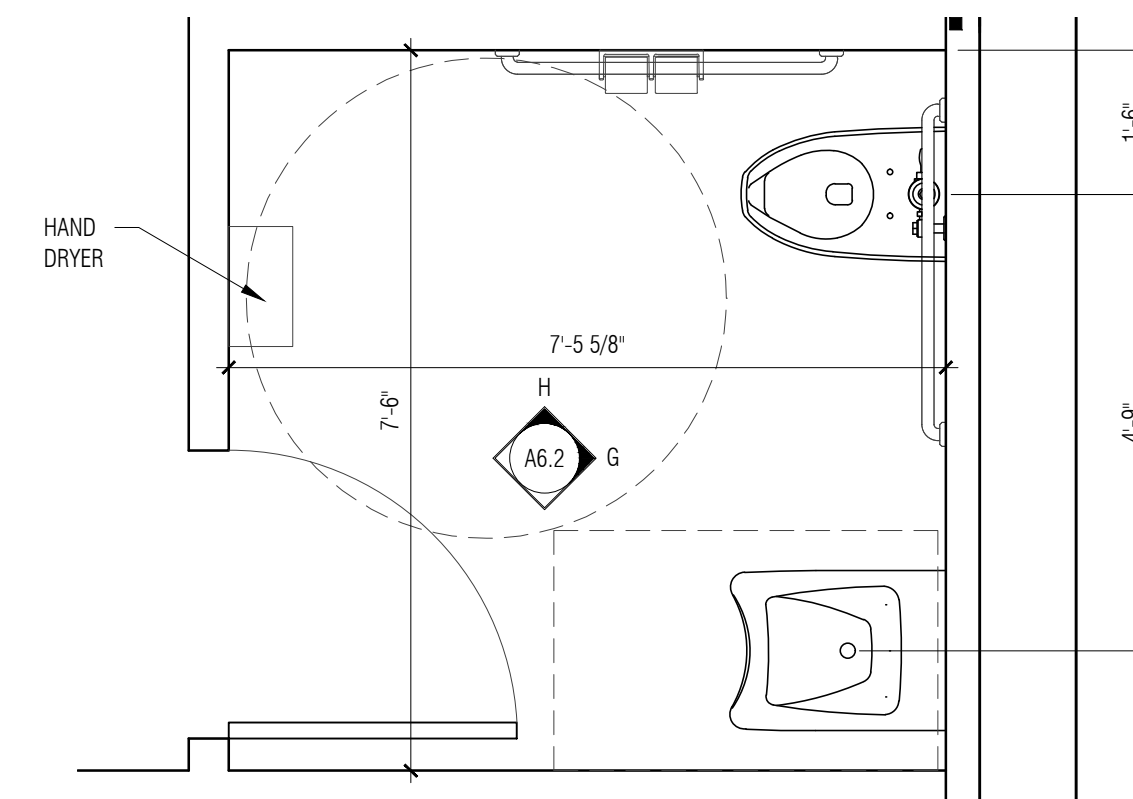
SCALE: 1/4" = 1'-0"



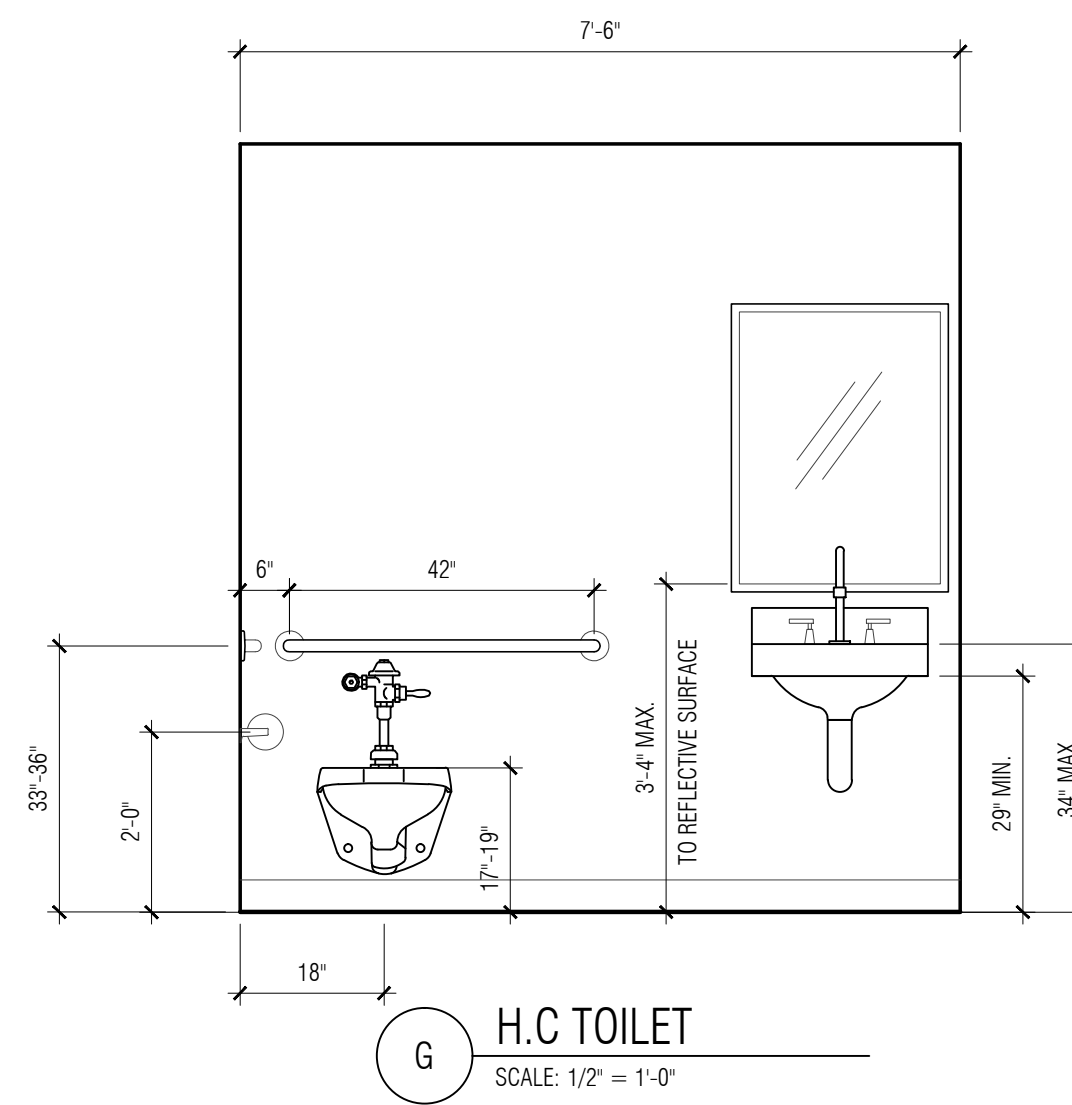
SHOWERS
SCALE: 1/2" = 1'-0"



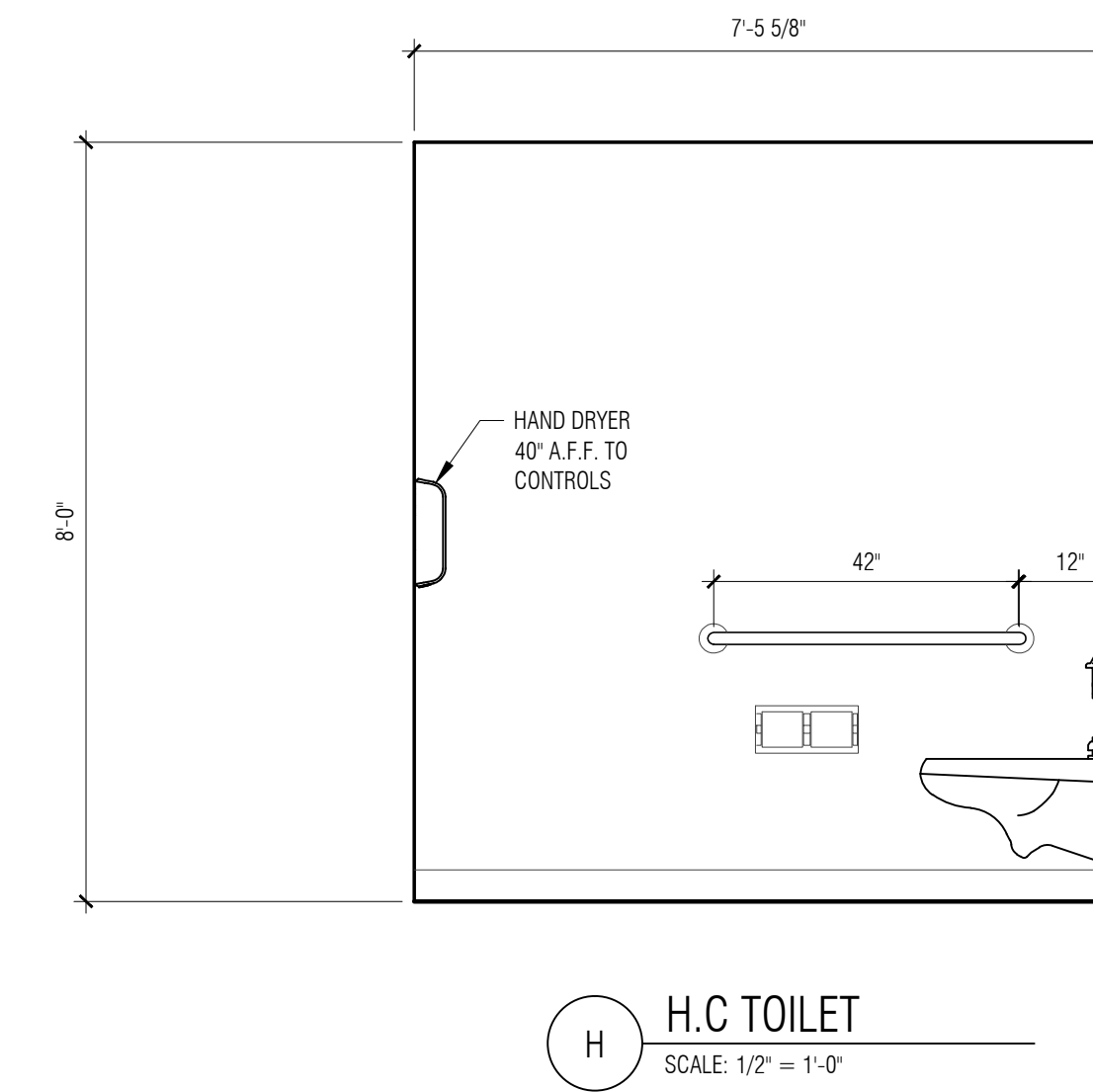
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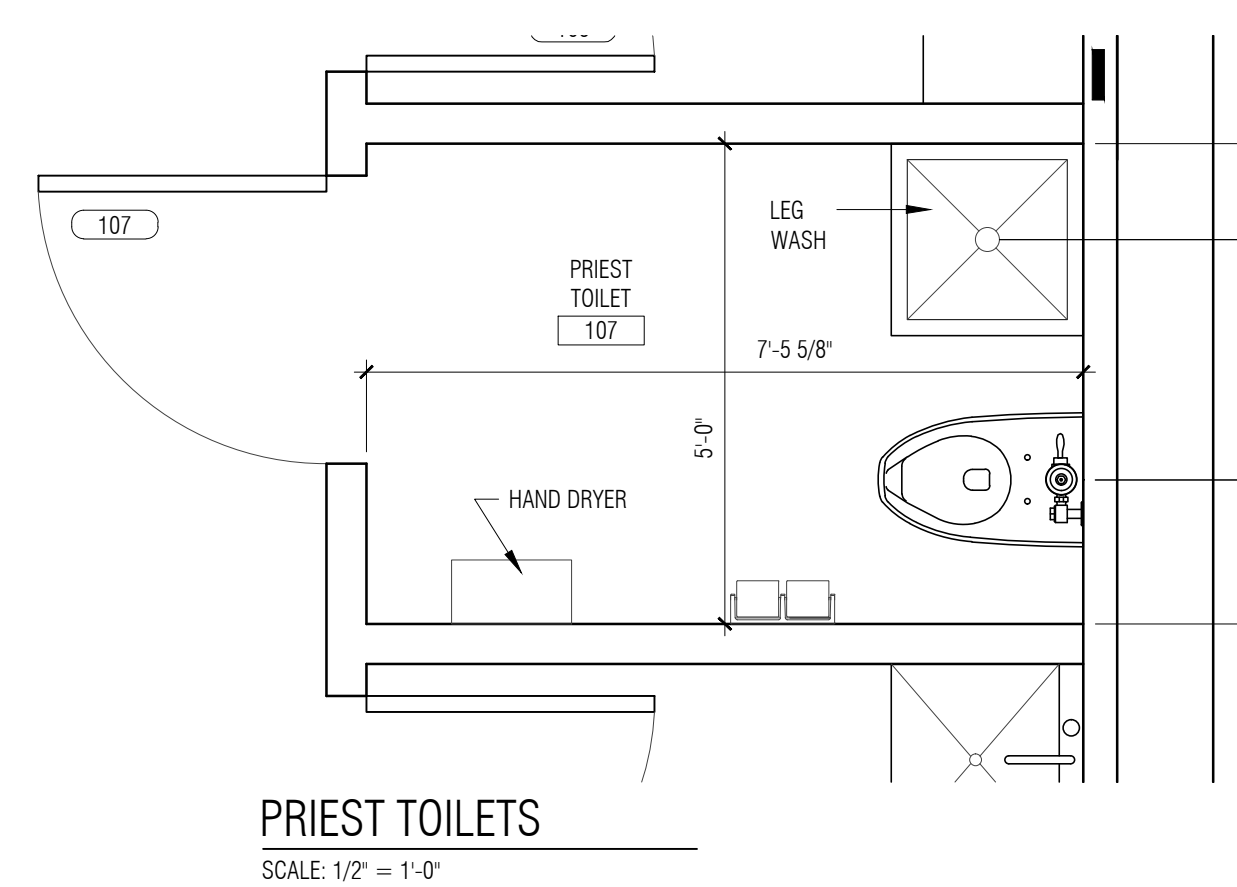
H.C. TOILETS TYPICAL
SCALE: 1/2" = 1'-0"



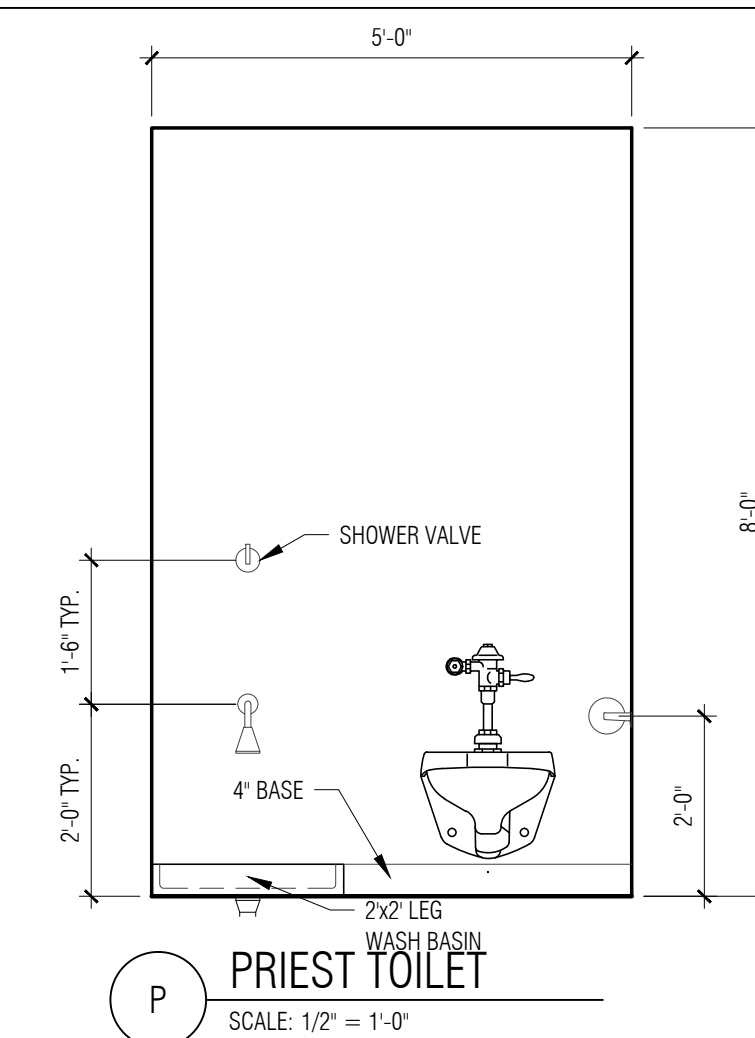
G H.C. TOILET
SCALE: 1/2" = 1'-0"



H H.C. TOILET
SCALE: 1/2" = 1'-0"



PRIEST TOILETS
SCALE: 1/2" = 1'-0"



P PRIEST TOILET
SCALE: 1/2" = 1'-0"

SRI LAKSHMI TEMPLE
NEW ADDITION

117 WAVERLY STREET
ASHLAND, MA 01721

Joyce Design Partnership
Architecture • Interior Design

111 PERKINS STREET SUITE 215
BOSTON MA 02130
(617) 522-0718

ABERJONA ENGINEERING INC

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781-729-6188

New England
Engineering
Building Systems & Commissioning Engineers
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100 Concord Street Suite 3C Framingham, MA 01702
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Sheet Title
**PLAN DETAILS
 TOILET & SHOWERS**

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Sheet #
A6.2
 Project # 14012

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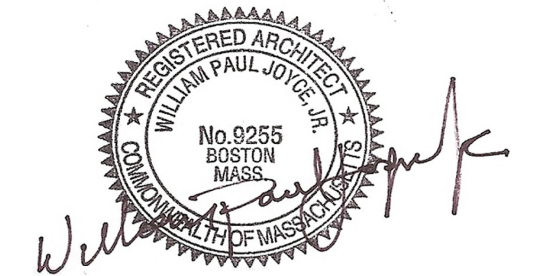
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Sheet Title

PLAN DETAILS
KITCHEN

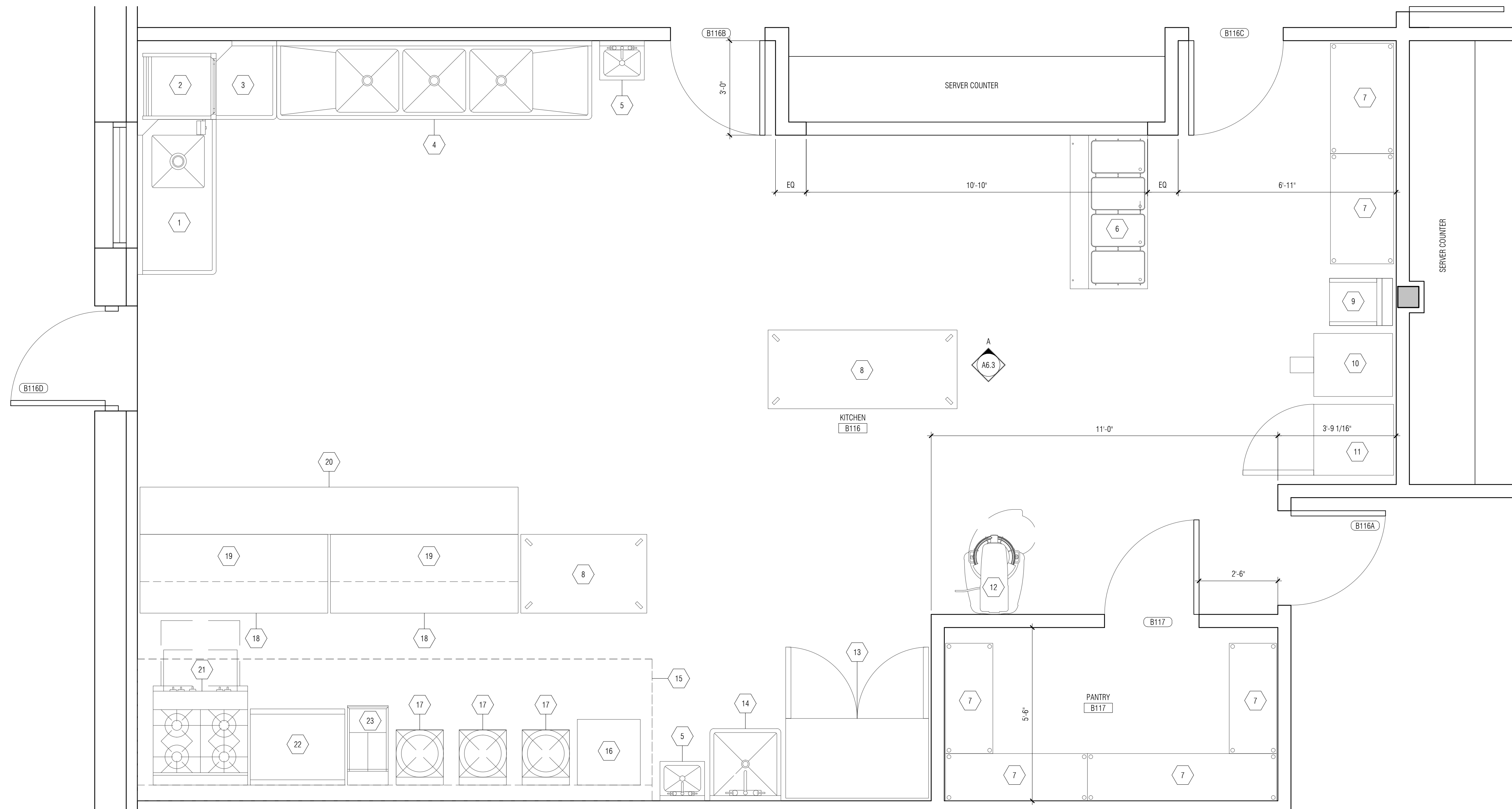
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AS SPECIFIED	JSR	WPU

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A6.3

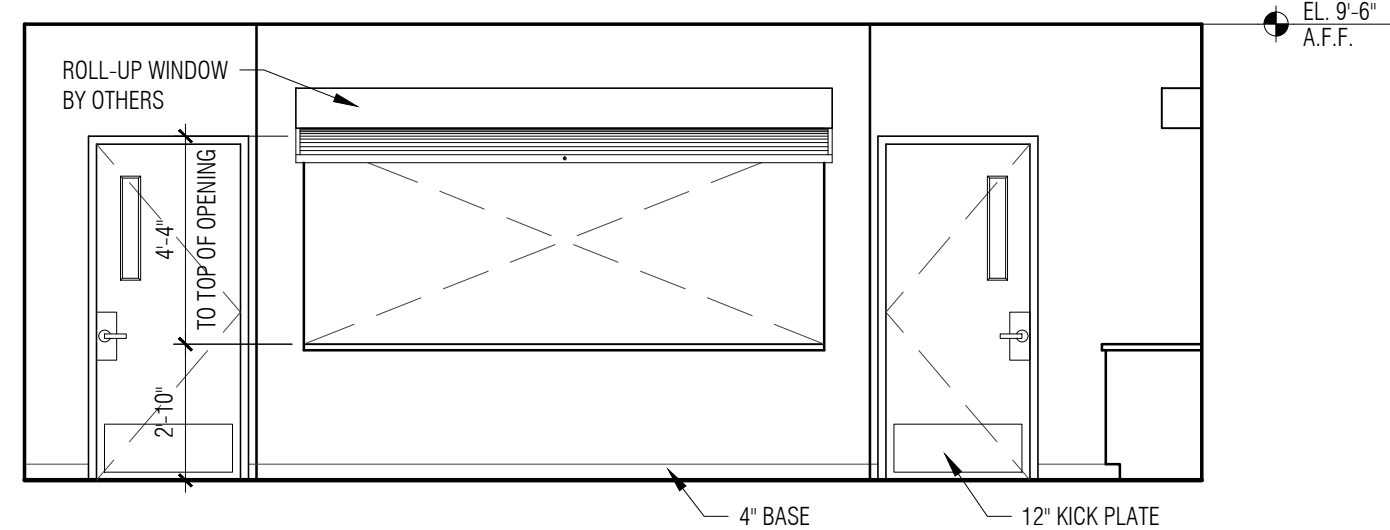
Project #

14012

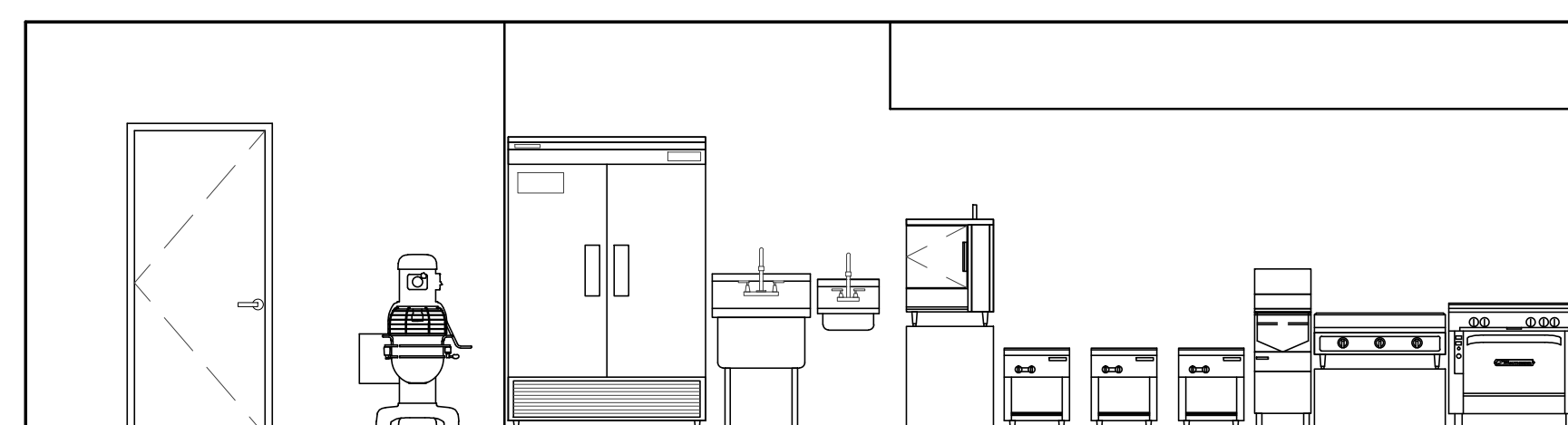


KITCHEN
SCALE: 1/2" = 1'-0"

* CONFIRM KITCHEN/CABINETS LAYOUT W/ THE KITCHEN CONSULTANT *



A SERVER COUNTER
SCALE: 1/4" = 1'-0"



A SERVER COUNTER
SCALE: 1/4" = 1'-0"

* CONFIRM KITCHEN/CABINETS LAYOUT W/ THE KITCHEN CONSULTANT *

SRI LAKSHMI TEMPLE
NEW ADDITION

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Engineering

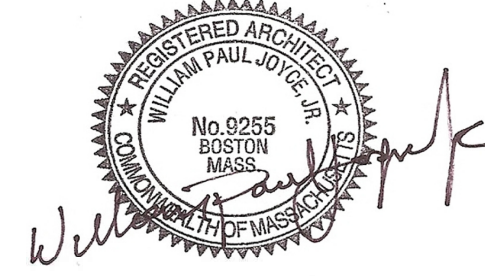
Building Systems & Commissioning Engineers
Massachusetts
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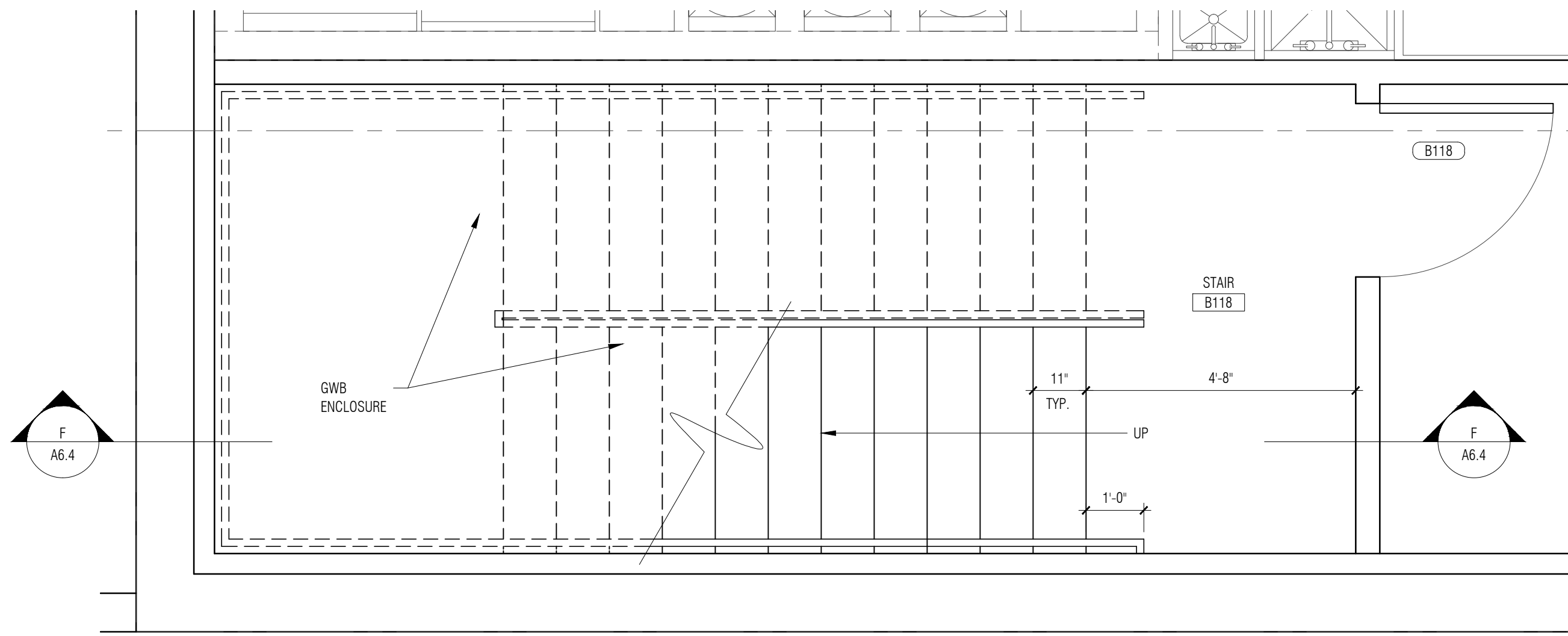
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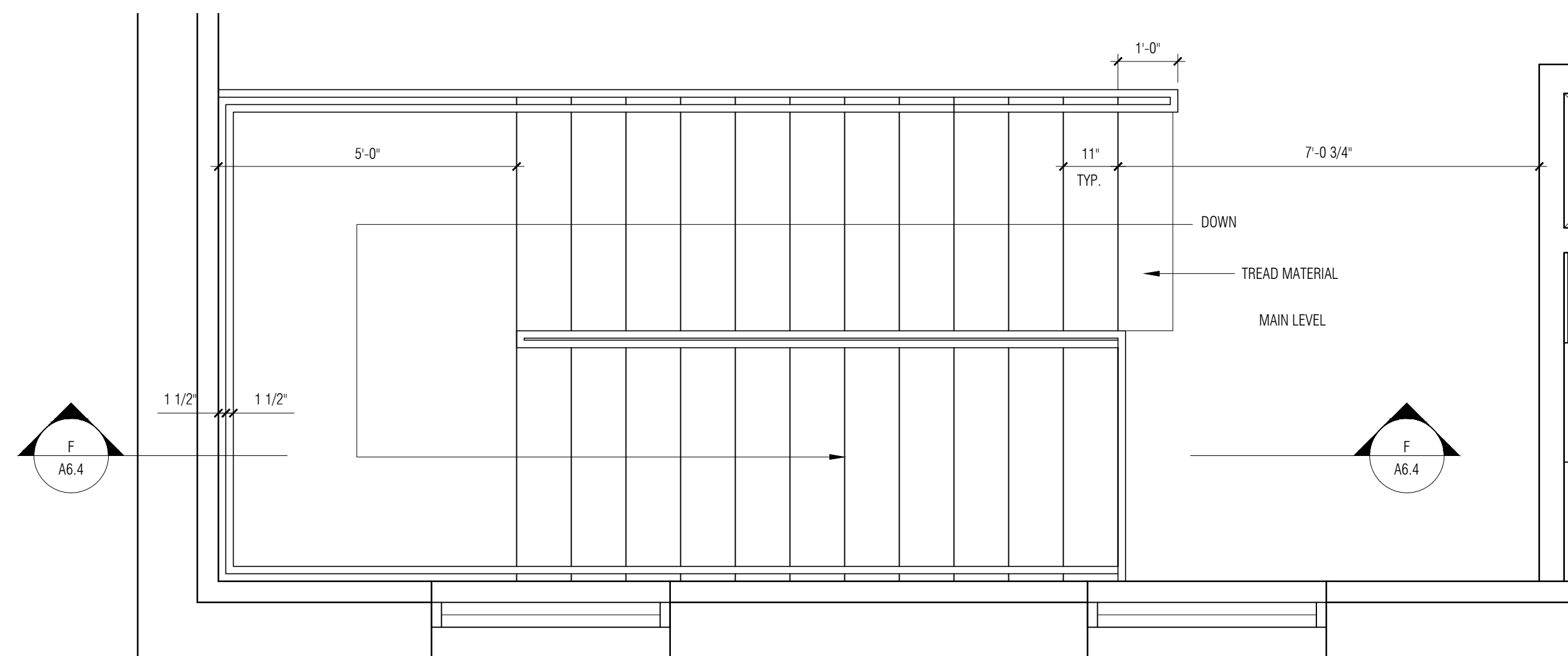
PLAN DETAILS
STAIRS

Scale	Drawn by	Verified by
AS SPECIFIED	JSR	WPU
Sheet #	A6.4	

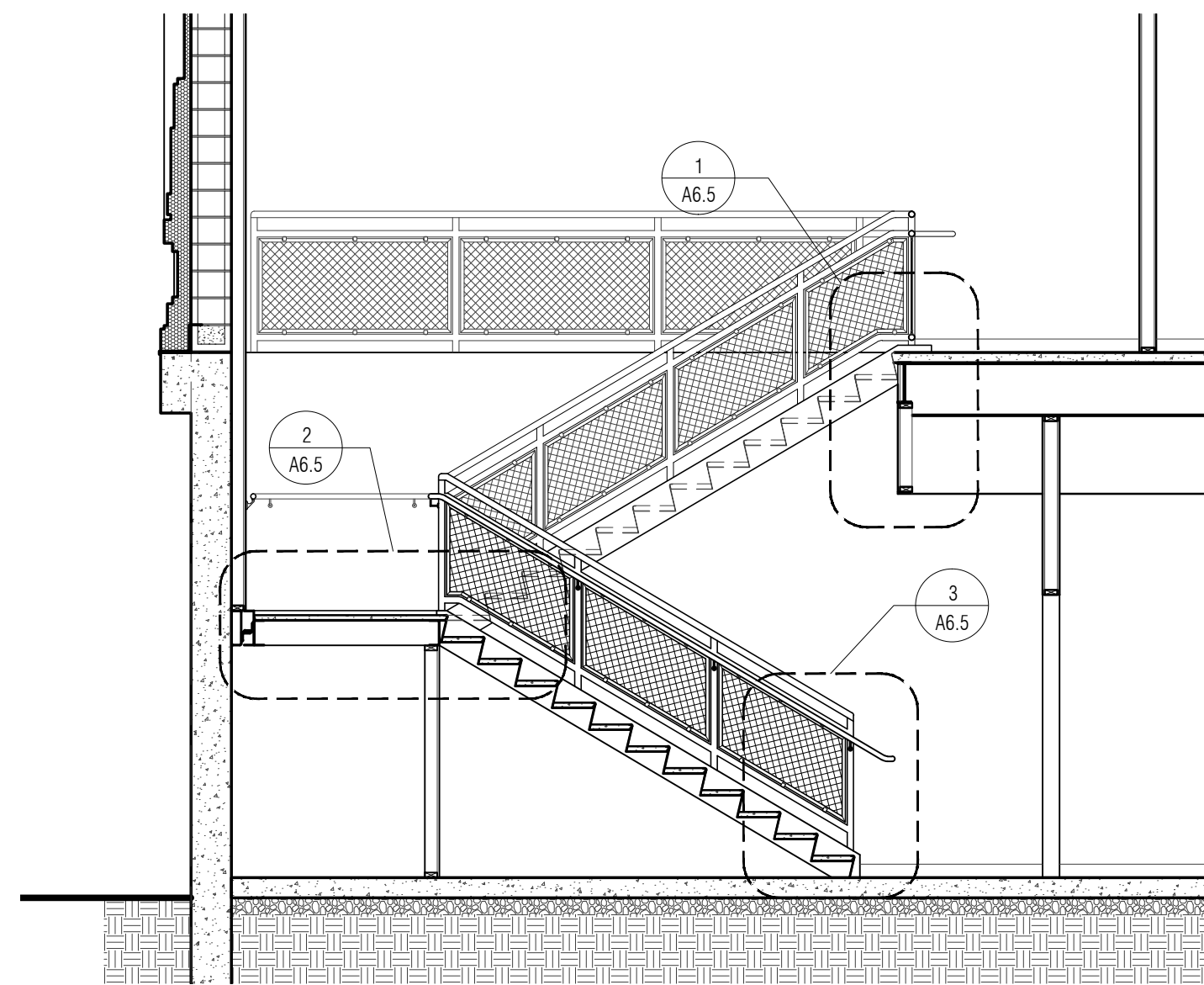
Project # 14012



LOWER LEVEL PLAN
SCALE: 1/2" = 1'-0"



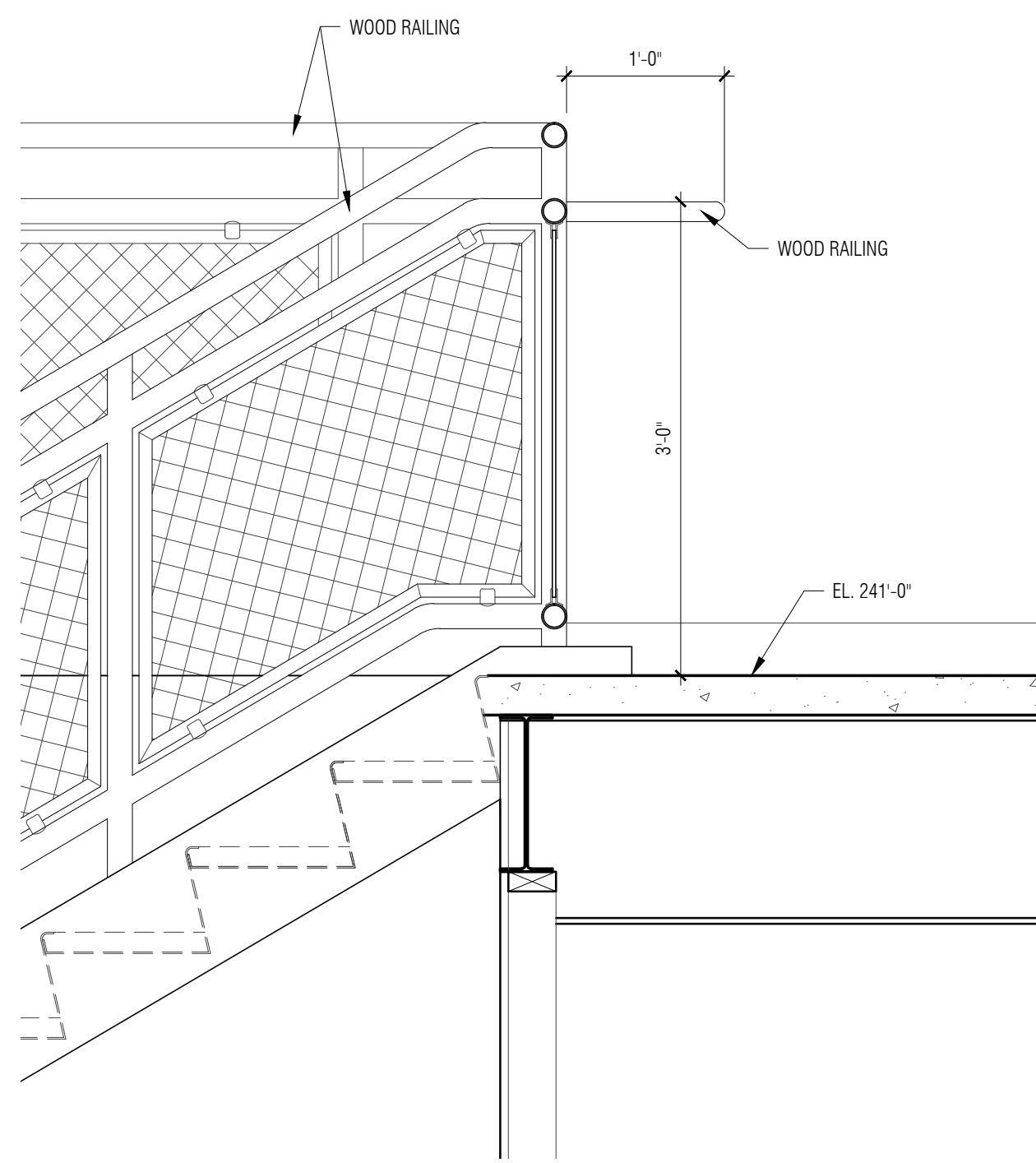
MAIN LEVEL PLAN
SCALE: 1/2" = 1'-0"



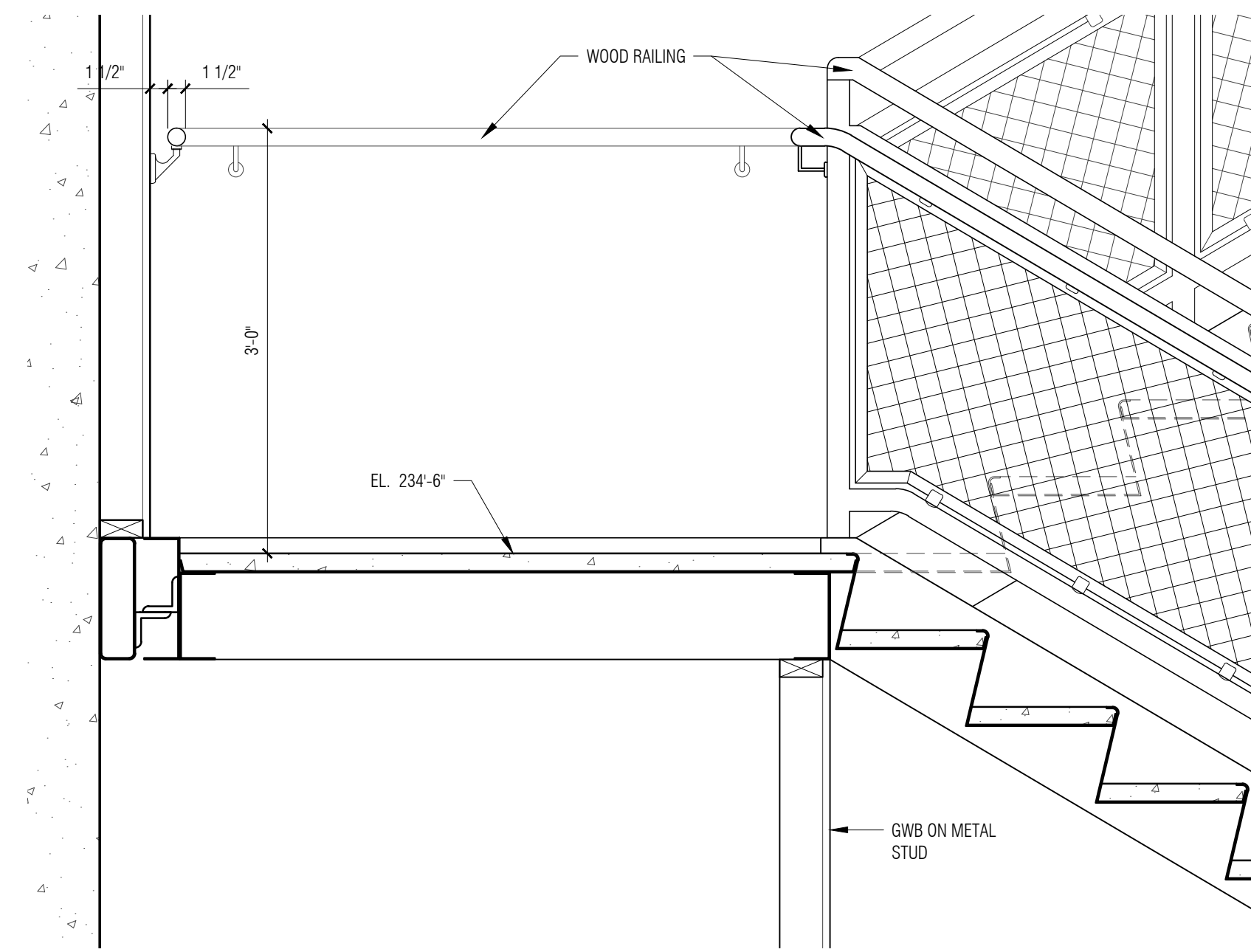
STAIR RAILING

HOLLAENDER
INTERNA RAIL SYSTEM
BRUSHED ALUMINUM FINISH WITH WOOD RAIL
2"x2" WIRE MESH DIAGONAL - POWDER COAT

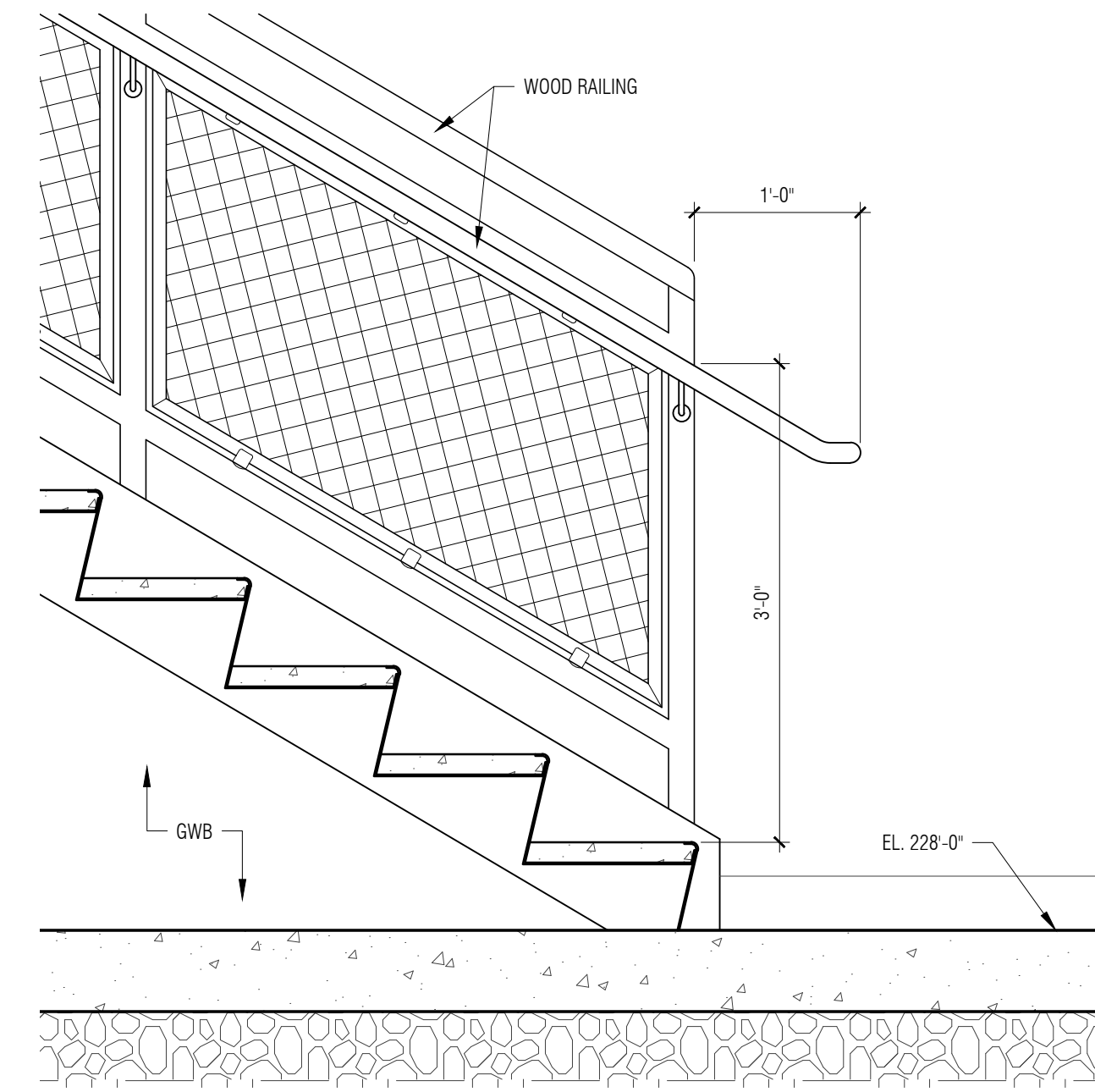
STAIR SECTION
SCALE: 1/2" = 1'-0"



1 UPPER LEVEL LANDING
SCALE: 1" = 1'-0"

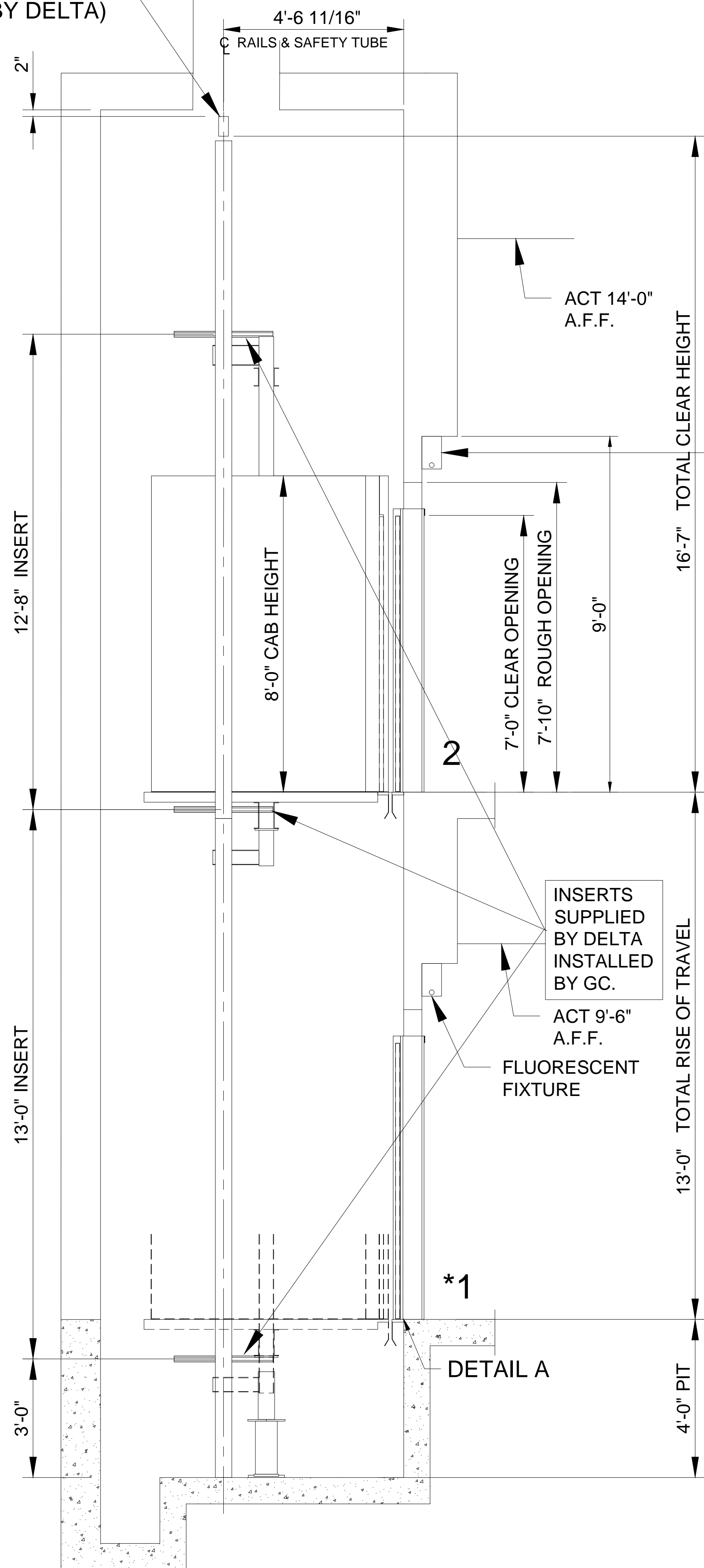


2 LANDING
SCALE: 1" = 1'-0"

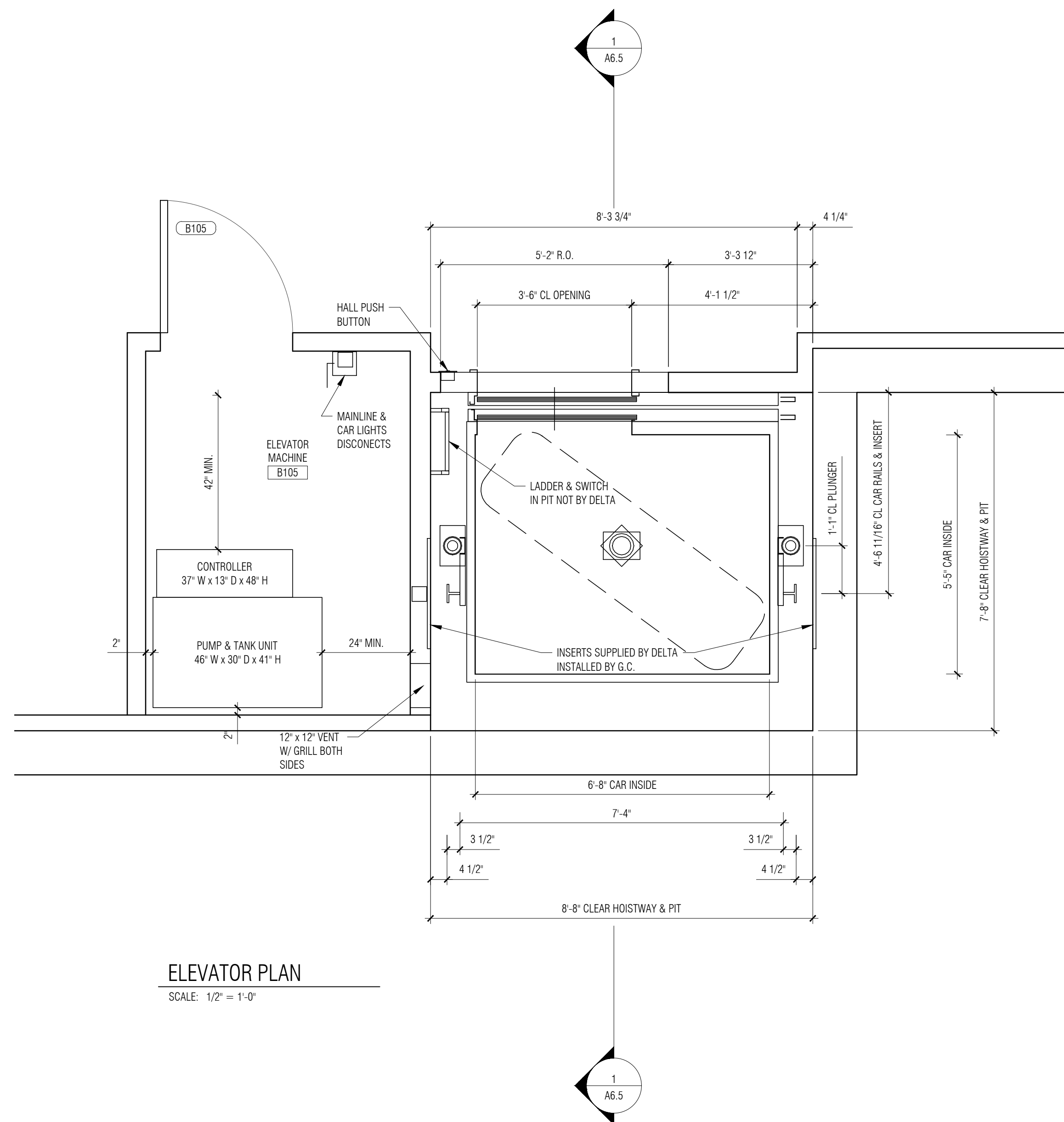


3 LOWER LEVEL LANDING
SCALE: 1" = 1'-0"

STEEL SAFETY TUBE FOR MINIMUM NET LIVE LOAD OF 5000# (NOT BY DELTA)



1 ELEVATOR SHAFT
SCALE: 1/2" = 1'-0"



ELEVATOR PLAN
SCALE: 1/2" = 1'-0"

SRI LAKSHMI TEMPLE
NEW ADDITION

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Professional Engineer
No. 0255
BOSTON
MASS.
WILLIAM PAUL JOYCE, JR.

Sheet Title

ELEVATOR PLAN
& DETAILS

Scale AS SPECIFIED Drawn by JSR Verified by WPU

Sheet #

A6.5

Project # 14012

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SRI LAKSHMI TEMPLE
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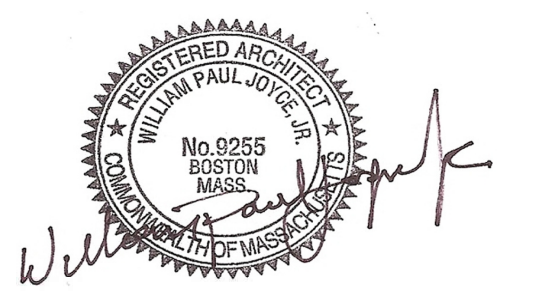
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Sheet Title

INTERIOR ELEVATIONS

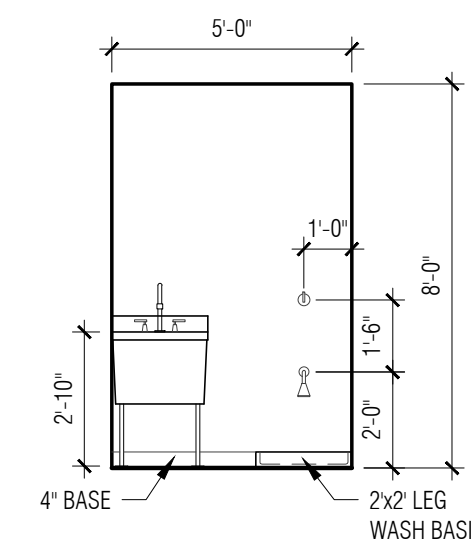
Scale AS SPECIFIED Drawn by JSR Verified by WPU

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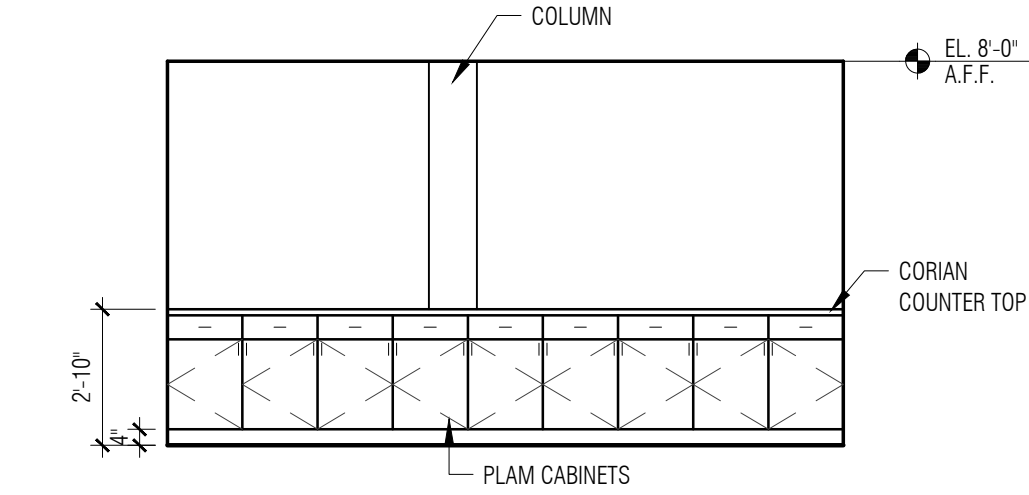
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Project #

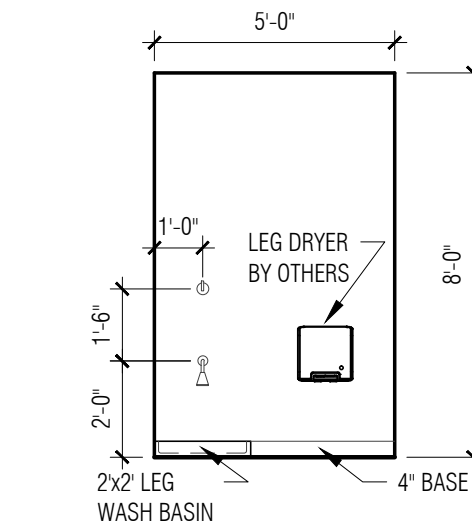
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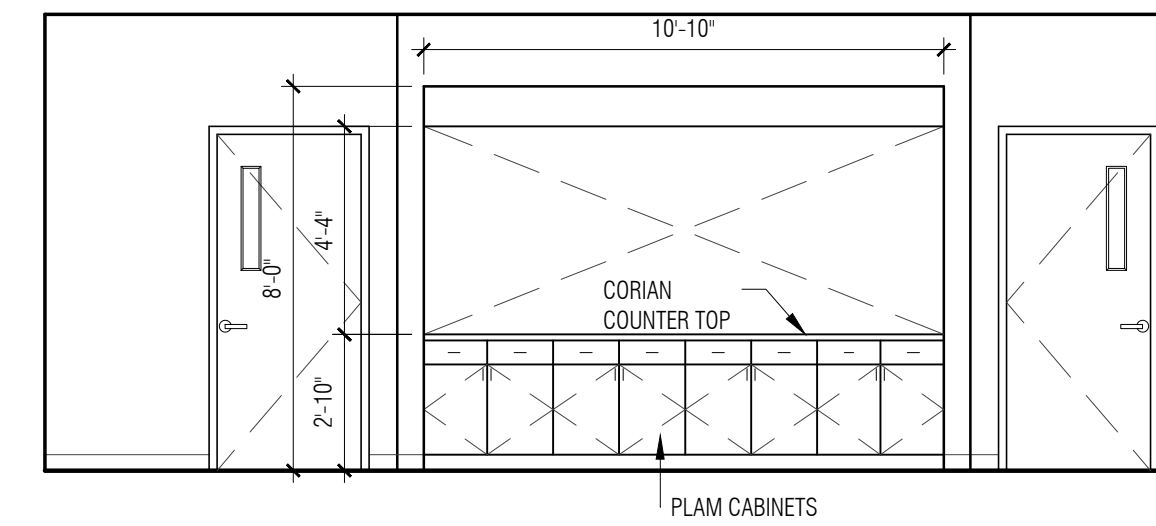
Q UTILITY CLOSET - MAIN LEVEL
SCALE: 1/4" = 1'-0"



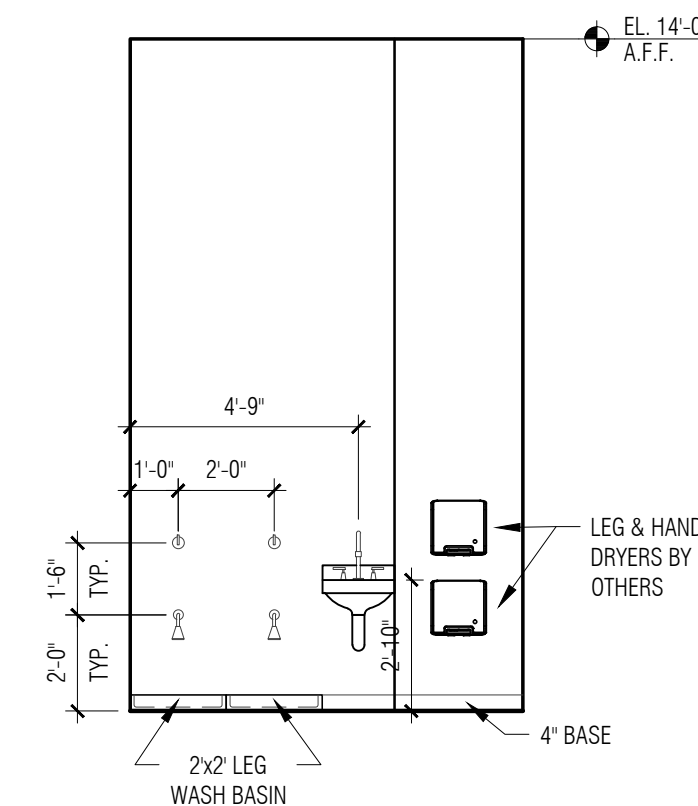
D SERVER COUNTER - CORRIDOR
SCALE: 1/4" = 1'-0"



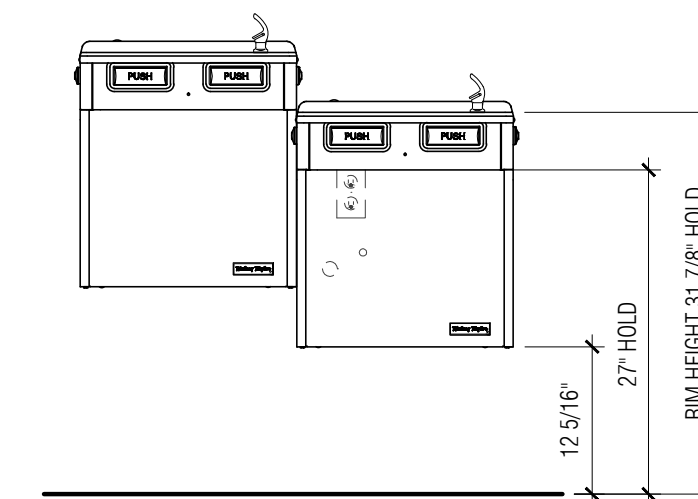
Q LEG WASH @ MAIN TOILETS
SCALE: 1/4" = 1'-0"



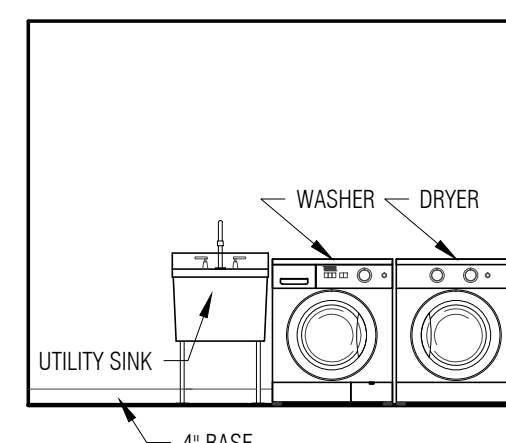
E SERVER COUNTER - DINING
SCALE: 1/4" = 1'-0"



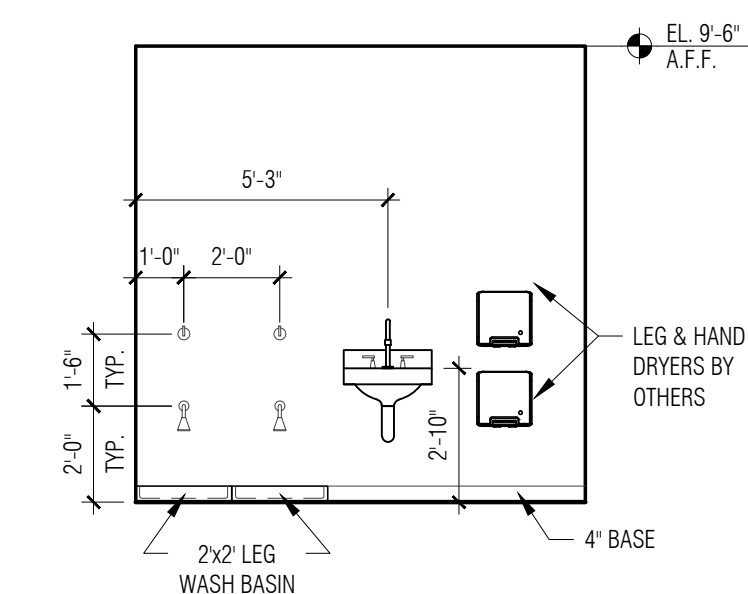
U LEG & HAND WASH @ ENTRY FOYER MAIN LEVEL
SCALE: 1/4" = 1'-0"



M DRINKING FOUNTAINS TYP.
SCALE: 3/4" = 1'-0"



V UTILITY CLOSET - LOWER LEVEL
SCALE: 1/4" = 1'-0"



N LEG & HAND WASH - LOWER LEVEL FOYER
SCALE: 1/4" = 1'-0"

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DOORS

DOORS

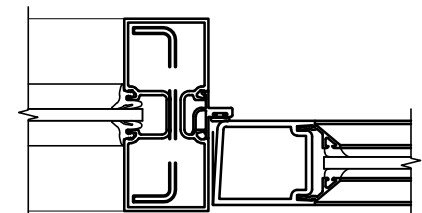
DOORS

DOOR & HARDWARE SCHEDULE

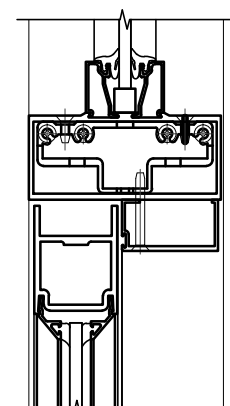
DOOR NO.	DIMENSION	FRAME	DOOR	RATING	FRAME TYPE	DOOR TYPE	HARDWARE SET / REMARKS	HARDWARE LEGEND
LOWER LEVEL								
B100	6'-0" X 7'-0"	ALUM	ALUM/GLASS	N/R	2	C	LE, B, S, CL, FB, CB	LC - CLASSROOM LOCKSET
B101A	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LE, B, S, WB	LA = LATCHSET (PASSAGE FUNCTION) - AL-SERIES - JUP - 626 FINISH
B101B	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LE, B, S, WB	LP = LOCKSET (PRIVACY FUNCTION) - AL-SERIES - JUP - 626 FINISH
B105	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LE, B, S	LE = LOCKSET (ENTRANCE/OFFICE FUNCTION) - AL-SERIES - JUP - 626 FINISH
B107	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LP, B, S, CH, WB	LS = LOCKSET (STOREROOM FUNCTION) - AL-SERIES - JUP - 626 FINISH
B108	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LE, B, S, WB	KP = KEY PAD (KING COBRA BY SCHLAGE #KC5000 W/ #17 LEVER/626 FINISH)
B109	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LE, B, S, WB	CH = COAT HOOK - US26D FINISH
B110	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LP, B, S, CH, WB, CL	ES = ELECTRONIC STRIKE W/ PUSH BUTTON - ELECTRIC STRIKE ADAMS-RITE 7100-320-625 (12 VOLT/FAIL SECURE)
B111	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LP, B, S, CH, WB, CL	CR = CARD READER
B112	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LP, B, S, CH, WB, CL	HCTA - HANDICAPPED TOILET ACCESSORIES - EXISTING
B113	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LA, B, S, WB, CL	PP - PADDLE PLATE
B114	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LA, B, S, WB, CL	H- 3/8" BRUSHED ALUMINUM PULL
B115A	3'-0" X 7'-0"	HM	HM	N/R	1	A2	LE, B, S, CL, CB	B = 1 1/2" PAIRS 3 1/2" HINGES - STANLEY F179 4-1/2 x 4 1/2 x US26
B115B	3'-0" X 7'-0"	HM	HM	N/R	1	A2	LE, B, S, CL, CB	CL = DOOR CLOSER - SARGENT EN230-UO - 626 FINISH
B115C	3'-0" X 7'-0"	HM	HM	N/R	1	A2	LE, B, S, CL, CB	WB = WALL BUMPER - HAGER #232W US26D FINISH
B115D	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, WB, CB, VP	FB = FLOOR BUMPER - HAGER #241F US26D FINISH
B115E	6'-0" X 7'-0"	HM	SCBV	N/R	1B	B1	LE, B, S, CL, WB, CB, VP	P = PEEPSITE - HAGER COMPANY #1756 - US26D FINISH
B116A	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, WB, VP, KPL, PPL	PA = POWER ASSIST - BY OTHERS
B116B	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, WB, VP, (2) KPL, (2) PPL	S = SILENCERS
B116C	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, WB, VP, (2) KPL, (2) PPL	RP = RECESSED DOOR PULL
B116D	3'-0" X 7'-0"	HM	HM	N/R	1	B2	LE, B, S, CL, CB, KPL, VP	CB = CRASH BAR - BY OTHERS
B117	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LS, B, S, FB, VP, (2) KPL, (2) PPL	VP = VIEW PANEL
B118	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LA, B, S, CL, WB, VP	LV = 12" X 12" LOUVER PAINTED
MAIN LEVEL								
100	6'-0" X 7'-0"	HM	HM	N/R	1B	B2	LE, B, S, CL, CB, VP	PPL = BRUSHED STAINLESS PUSH PLATE
103A	6'-0" X 7'-0"	HM	SCBV	N/R	1B	B1	LE, B, S, CL, CB, VP, WB	SL = STAINLESS LEVER PULL
103B	3'-0" X 7'-0"	HM	HM	N/R	1	A2	LE, B, S, CL, CB	BF = BI-FOLD DOOR HARDWARE
103C	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, CB, WB, VP	ALL INTERIOR DOOR HARDWARE TO BE BRUSHED STAINLESS STEEL
103D	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, WB, CB, VP	ALL HARDWARE SHALL BE ADA COMPLIANT SCHLAGE MEDIUM DUTY, LEVER HANDLE OR APPROVED EQUAL.
104	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LA, B, S, CL, WB	ADJUST CLOSERS TO MEET ADA SPEC.
105	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LA, B, S, CL, WB	DOOR FINISHES
106	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LP, B, S, CL, WB, CH	SCBV - SOLID CORE BIRCH VENEER - PAINT GRADE FINISH- SEE FINISH SCHEDULE
107	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LP, B, S, CL, FB, CH	
108	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LS, B, S, WB	
110	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, CL, WB, VP	
111	3'-0" X 7'-0"	HM	SCBV	N/R	1	B1	LE, B, S, WB, VP	
112	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LS, B, S, FB	
113	3'-0" X 7'-0"	HM	SCBV	N/R	1	A1	LS, B, S, WB	

STORE FRONT DETAILS

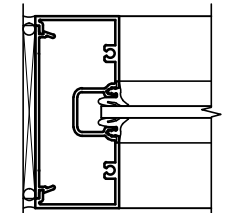
* FINISH TO BE DETERMINED BY ARCHITECT *



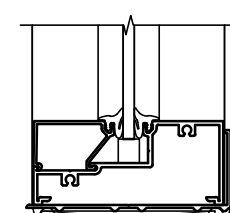
A DOOR JAMB W/SIDELIGHT
SCALE: 3" = 1'-0"



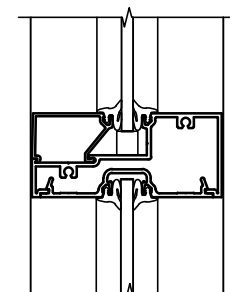
B DOOR HEADER
SCALE: 3" = 1'-0"



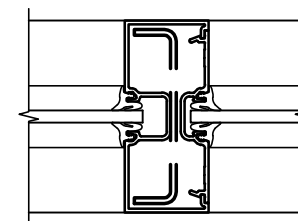
C JAMB
SCALE: 3" = 1'-0"



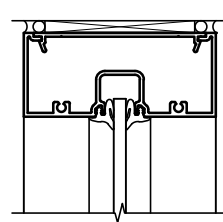
D BASE SILL
SCALE: 3" = 1'-0"



E HORIZONTAL
SCALE: 3" = 1'-0"

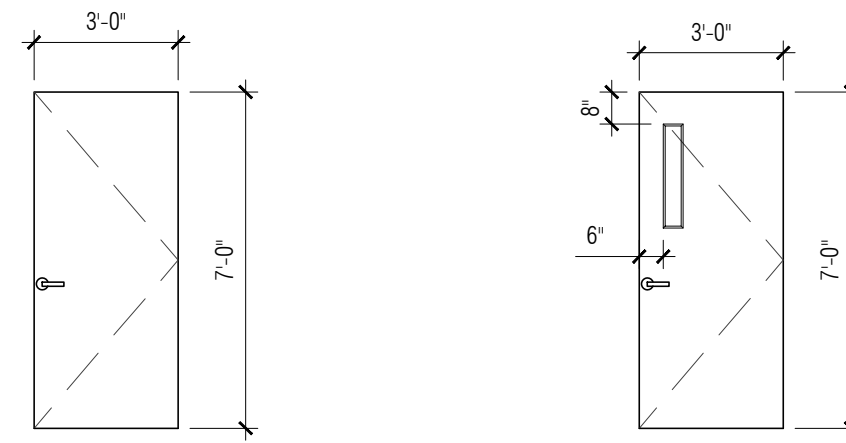


F SPLIT MULLION
SCALE: 3" = 1'-0"



G TRAN. HEADER
SCALE: 3" = 1'-0"

DOOR TYPES

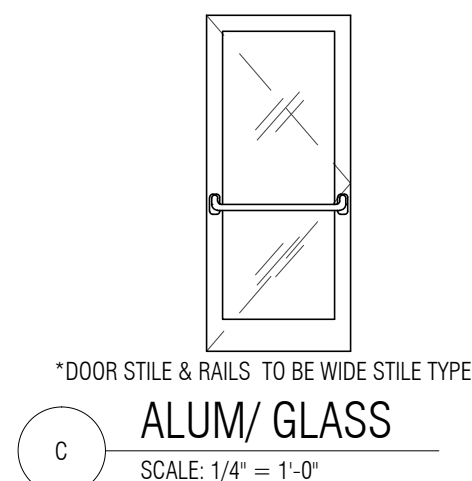


A1 SCVB
SCALE: 1/4" = 1'-0"

A2 HOLLOW METAL
SCALE: 1/4" = 1'-0"

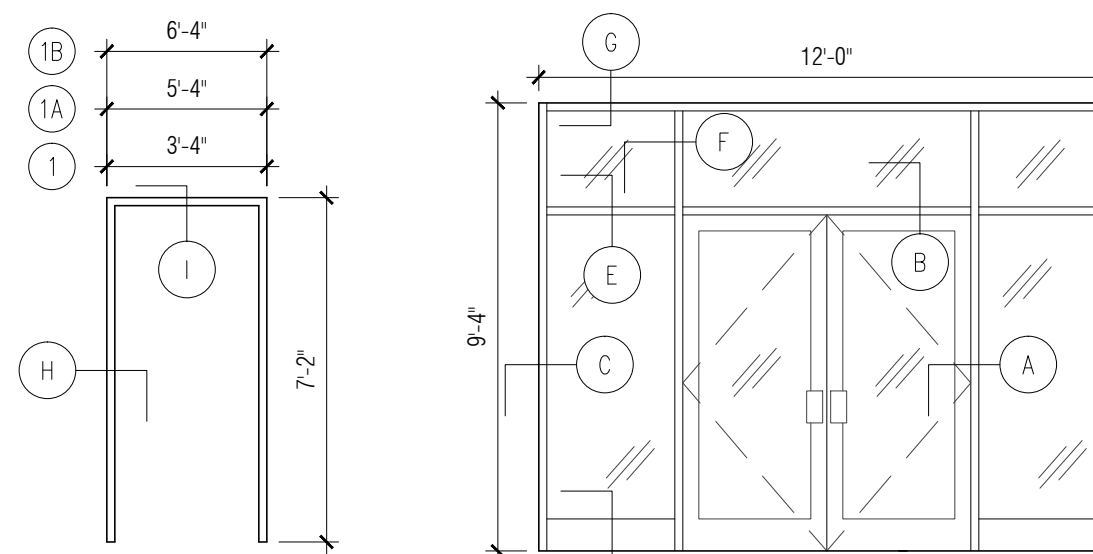
B1 SCVB W/VISION PANEL
SCALE: 1/4" = 1'-0"

B2 H.M. W/VISION PANEL
SCALE: 1/4" = 1'-0"



C ALUM/ GLASS
SCALE: 1/4" = 1'-0"

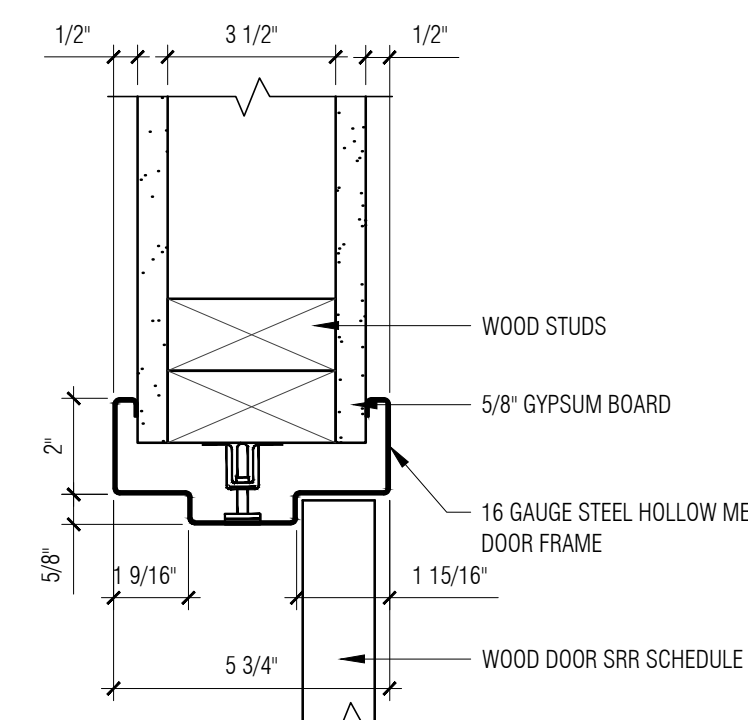
FRAME TYPES



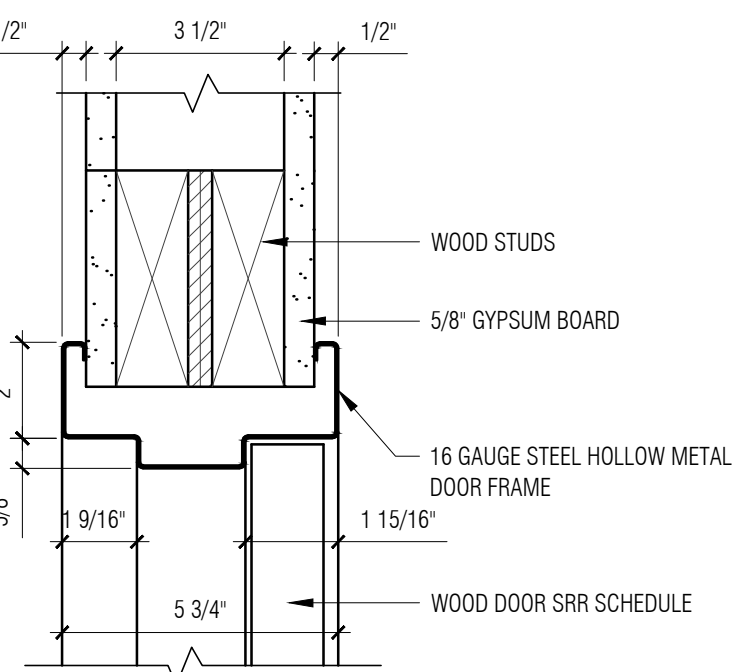
1 HOLLOW METAL
SCALE: 1/4" = 1'-0"

2 S.F. WINDOW
SCALE: 1/4" = 1'-0"

H.M. DOOR DETAILS



H DOOR JAMB
SCALE: 3" = 1'-0"



I DOOR HEADER
SCALE: 3" = 1'-0"

PERFORMANCE SPECS

- A DETAIL DOOR AND HARDWARE SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND ACCEPTANCE PRIOR TO ORDERING MATERIALS OR FABRICATION.
- B HARDWARE SCHEDULE SHALL LIST THE ACTUAL PRODUCT SERIES NUMBERS FOLLOW MANUFACTURER'S CATALOG REQUIREMENTS FOR THE ACTUAL SIZE OF THE DOORS CLOSERS, BRACKETS AND HOLDERS. DOOR SIZES ARE TO BE NOTED ON THE DOOR SCHEDULE. HARDWARE SHALL BE IN STRICT ACCORDANCE WITH REQUIREMENTS OF THE DOOR HEIGHT, WIDTH WEIGHT, AND THICKNESS. REUSE EXISTING INTERIOR DOOR HARDWARE WHEN POSSIBLE. COORDINATE EXISTING HARDWARE WITH OWNER.
- C HARDWARE SETS
SEE DOOR SCHEDULE
NOTE: THE SECURITY VENDOR AND HARDWARE VENDOR NEED TO COORDINATE APPROPRIATE HARDWARE FOR ELECTRIC STRIKES
- D FINISH HARDWARE SCHEDULE PROVIDE MANUFACTURER'S FINISH HARDWARE THAT COMPLIES WITH REQUIREMENTS SPECIFIED COORDINATE HARDWARE AND LOCKSET WITH EXISTING TO REMAIN.
- E EXISTING LOCKSET SHALL BE KEYS AS PART OF THE BASE CONTRACT PRICE BY CLIENTS LOCKSMITHS IN ACCORDANCE WITH THE OWNER AND TENANTS REQUIREMENTS GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND TENANT IN A TIMELY FASHION FOR A MEETING TO DETERMINE THE RE-KEYING SEQUENCE
- F COORDINATE ALL LOCKS TO ONE MASTER KEY PROVIDE (2) SETS OF KEYS AND (2) MASTER KEYS TO TENANT
- G DOOR FRAMES SHALL HAVE SILENCERS THAT SHALL NOT BE PAINTED BUT SHALL BE CLEAR OR SHALL MATCH DOOR FRAME IN COLOR AND TONE AS CLOSELY AS POSSIBLE
- H DOORS AND FRAMES SHALL BE INSTALLED BY EXPERIENCED WORKMEN IN A MANNER CONFORMING TO THE PRINTED INSTRUCTIONS OF THEIR RESPECTIVE MANUFACTURERS AND BEST TRADE PRACTICES. THEY SHALL BE SET PLUMB, SQUARE AND LEVEL IN CORRECT ALIGNMENT WITH FLOOR CEILING, WALLS AND OTHER WORK, AND SHALL BE RIGIDLY ANCHORED AND BRACED WITH ANCHORS BUILT IN. FRAMES FOUND TO BE OUT OF SQUARE OR TRUE ALIGNMENT AT THE TIME OF HANGING DOORS SHALL BE REINSTALLED AT NO ADDITIONAL COST TO THE OWNER.
- I PROVIDE BUILDING STANDARD BUCK AND FRAME ASSEMBLIES FOR ALL DOORS NOTED.
- J PROVIDE SPECIAL WOOD DOORFRAME ASSEMBLIES FOR DOORS NOTED. SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT.
- K EXAMINE DOOR FRAMES TO VERIFY THAT FRAMES ARE THE CORRECT TYPE AND HAVE BEEN INSTALLED AS REQUIRED FOR PROPER HANGING OF CORRESPONDING DOORS. DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY HAVE BEEN CORRECTED. INSTALL FIRE RATED FRAMES IN ACCORDANCE WITH NFPA STANDARD NO. 80
- L SOLID CORE WOOD DOORS SHALL BE FLUSH TYPE 1-3/4" THICK OF 5-PLY CONSTRUCTION WITH FINISH GRADE VENEERS TO MATCH EXISTING AND BONDED TO BOTH FACES. CORES SHALL BE PARTICLEBOARD, 30 TO 32 LBS PER CU. FT. DENSITY. CROSS BANDS SHALL BE THOROUGHLY KILN-DRIED HARDWOOD, 1/16" THICK, EXTENDING FULL WIDTH OF DOOR.
- M ALL DOORS SHALL HAVE PREMIUM GRADE VENEERS WITH REGULAR GRAIN PATTERNS. DOORS WITH VISIBLE DISCOLORATIONS, CRACKS, CHECKS OR HANDLING DAMAGE SHALL BE ELIMINATED. THE GENERAL CONTRACTOR SHALL REVIEW THE DOOR SLABS ON SITE WITH THE ARCHITECT PRIOR TO ERECTION.
- N SUBMIT WRITTEN AGREEMENT IN DOOR MANUFACTURERS STANDARD FORM SIGNED BY THE MANUFACTURER AND THE GENERAL CONTRACTOR AGREEING TO REPAIR OR REPLACE DEFECTIVE DOORS WHICH MAY HAVE WARPED (BOW, CUP OR TWIST) OR WHICH SHOW PHOTOGRAPHING OF CONSTRUCTION BELOW THE FACE VENEERS, OR DO NOT OTHERWISE CONFORM TO TOLERANCE LIMITATIONS OF NWMA
- O INSTALL WOOD DOORS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - 1 CUT WOOD DOORS TO ACCURATELY FIT FRAMES LEAVING UNIFORM CLEARANCE AT HEADS AND JAMBS. UNDERCUT AS REQUIRED TO CLEAR FINISH MATERIALS. FIT THRESHOLDS, ETC. INCLUDING CORRECT CLEARANCE FOR CARPETING ALLOW FOR AS MUCH AS 3" VARIATION IN OVERALL FLOOR LEVELING.
 - 2 HANG DOORS PLUMB AND TRUE. AND APPLY DOOR HARDWARE SO THAT OPENING AND CLOSING MOVEMENT OF DOORS IS SMOOTH AND FREE.
- P INSTALL HARDWARE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - 1 PLACE AND ATTACH HARDWARE BY SKILLED MECHANICS ASSURING ACCURATE FITTINGS AND ADJUSTMENT. INSTALL HARDWARE ON DOORS AND FRAMES AT LOCATIONS CONFORMING TO ANSI AND NAHM STANDARDS
- Q PROVIDE U.L. LABEL FOR EACH FIRE RATED DOOR AND FRAME.
- R ADJUSTMENT AND CLEANING
OPERATION: RE-HANG OR REPLACE DOORS THAT DO NOT SWING OR OPERATE FREELY, AS DIRECTED BY THE ARCHITECT.
PROTECTION: REFINISH OR REPLACE DOORS DAMAGED DURING CONSTRUCTION, AS DIRECTED BY THE ARCHITECT.

SRI LAKSHMI TEMPLE
NEW ADDITION

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ASHLAND, MA 01721

Joyce Design Partnership
Architecture • Interior Design

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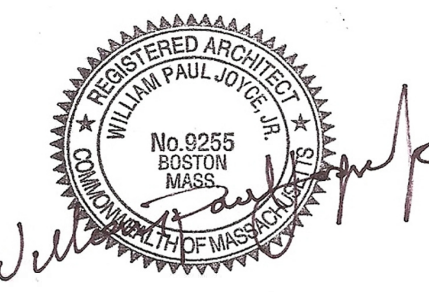
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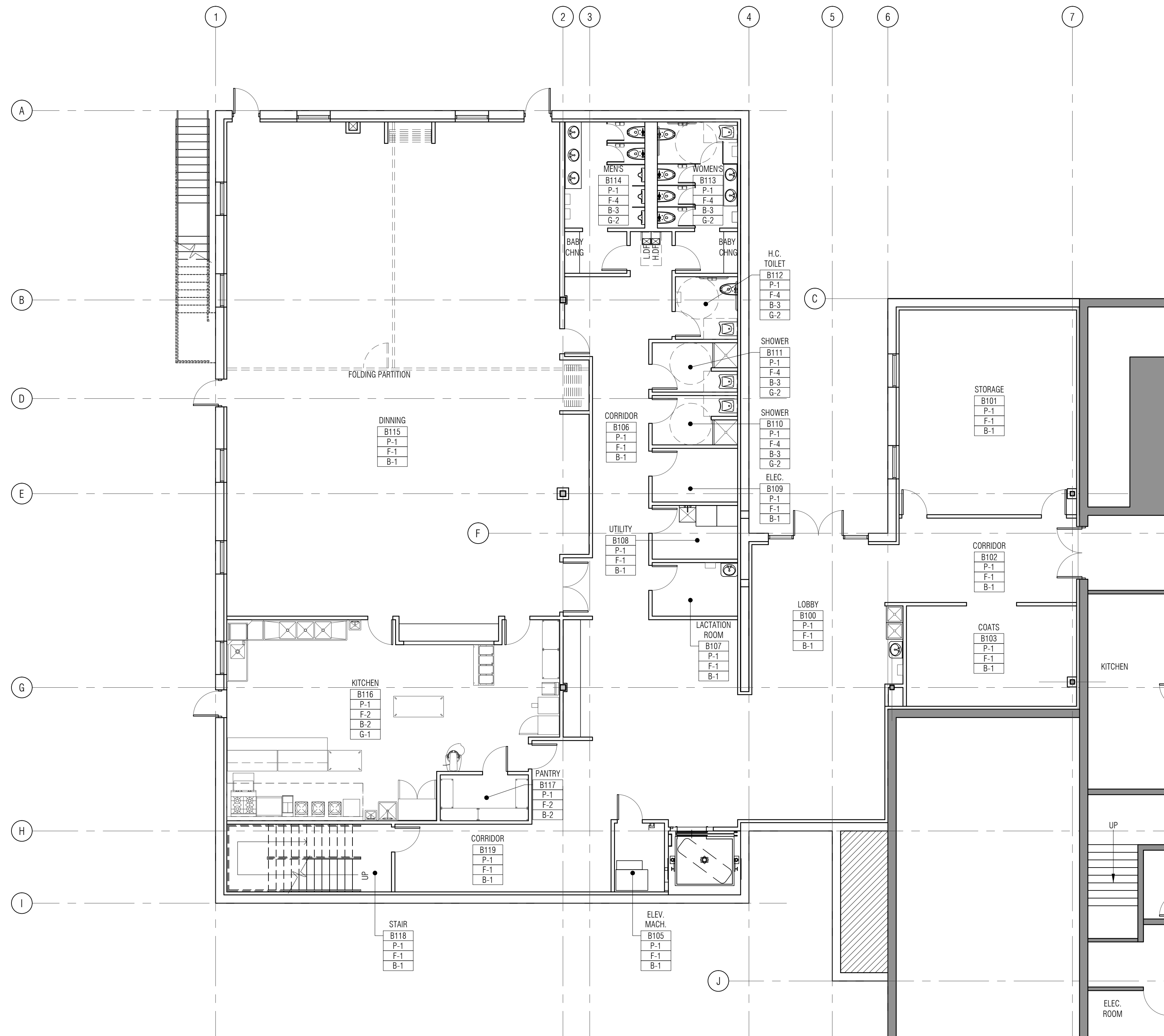
DOOR SCHEDULE,
DOOR/FRAME TYPES &
WINDOW TYPES

Scale	Drawn by	Verified by
AS NOTED	JSR	WPJ

Sheet #

A8.0

Project # 14012



FINISH NOTES

- REFER TO PLAN FOR FINISHES LOCATIONS.
- ALL FINISHES TO BE INSTALLED BY USING MANUFACTURERS SPECIFICATIONS.
- ALL CONTRACTORS AND VENDORS ARE RESPONSIBLE FOR OBTAINING AND FOLLOWING ALL MANUFACTURERS SPECIFICATIONS AND DIRECTIONS.
- PROVIDE TRANSITION STRIP (SCHLUTER METAL) AT ALL FLOOR TRANSITIONS. FINISH: TBD
- TILE INSTALLER SHALL VERIFY FLOOR STRUCTURE FOR ABILITY OF FLOOR TO ACCEPT TILE. INSTALLER SHALL BE RESPONSIBLE TO NOTIFY ARCHITECT OF THE APPROVAL OR REJECTION OF THE FLOORS ABILITY TO RECEIVE TILE.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- PATCH HOLES AND CRACKS. SAND AND LEVEL TO SMOOTH SURFACE.
- GROUT AT ALL CERAMIC TILES SHALL BE LATICRETE SPECTRALOCK. COLOR: TBD
- ALL WALLS ARE TO BE PRIMED USING BENJAMIN MOORE EDO SPEC WS LATEX PRIMER.
- TRIM ON THE FINISH SCHEDULE REFERS TO DOOR FRAMES, BASE, CHAIR RAILS, AND MOLDINGS.
- SEE ARCH DWG FOR DOOR SPECS.
- PRIOR TO INSTALLATION, CLEAR ALL DEBRIS AND SCRAPE UP CEMENTITIOUS DEPOSITS FROM CONCRETE SURFACES TO RECEIVE CARPET, APPLY SEALER TO PREVENT DUSTING.
- TILE INSTALLER SHALL INSPECT AND APPROVE IN WRITING SUB-FLOOR AND PREP WORK PRIOR TO INSTALLATION.
- G.C. IS RESPONSIBLE FOR ALL PREP WORK ON FLOORS & WALLS. THIS IS TO MEET MANUFACTURERS SPECS FOR THE PRODUCT.
- G.C. IS RESPONSIBLE FOR ALL PAINTED SURFACES & WALL COVERINGS.
- PRIOR TO INSTALLATION OF CERAMIC TILE, CHALK OUT LOCATION ON FLOOR & COORDINATE W/ ARCHITECT FOR APPROVAL OF LAYOUT.
- CLEAN ALL WINDOWS AS NEEDED AT END OF CONSTRUCTION.

SRI LAKSHMI TEMPLE
NEW ADDITION

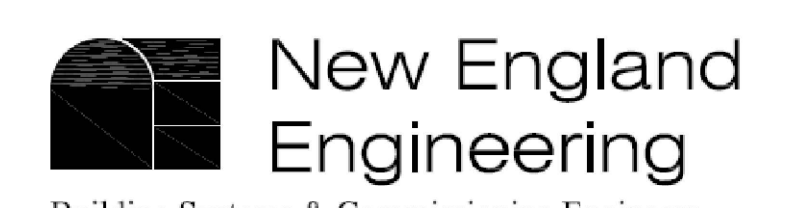
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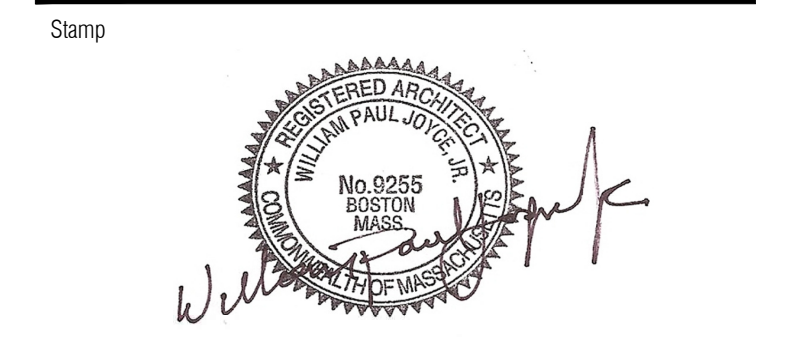


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Sheet Title

LOWER LEVEL
FINISH PLAN, SCHEDULE &
DETAILS

Scale 1/8" = 1'-0" Drawn by JSR Verified by WJP

Sheet # A9.0

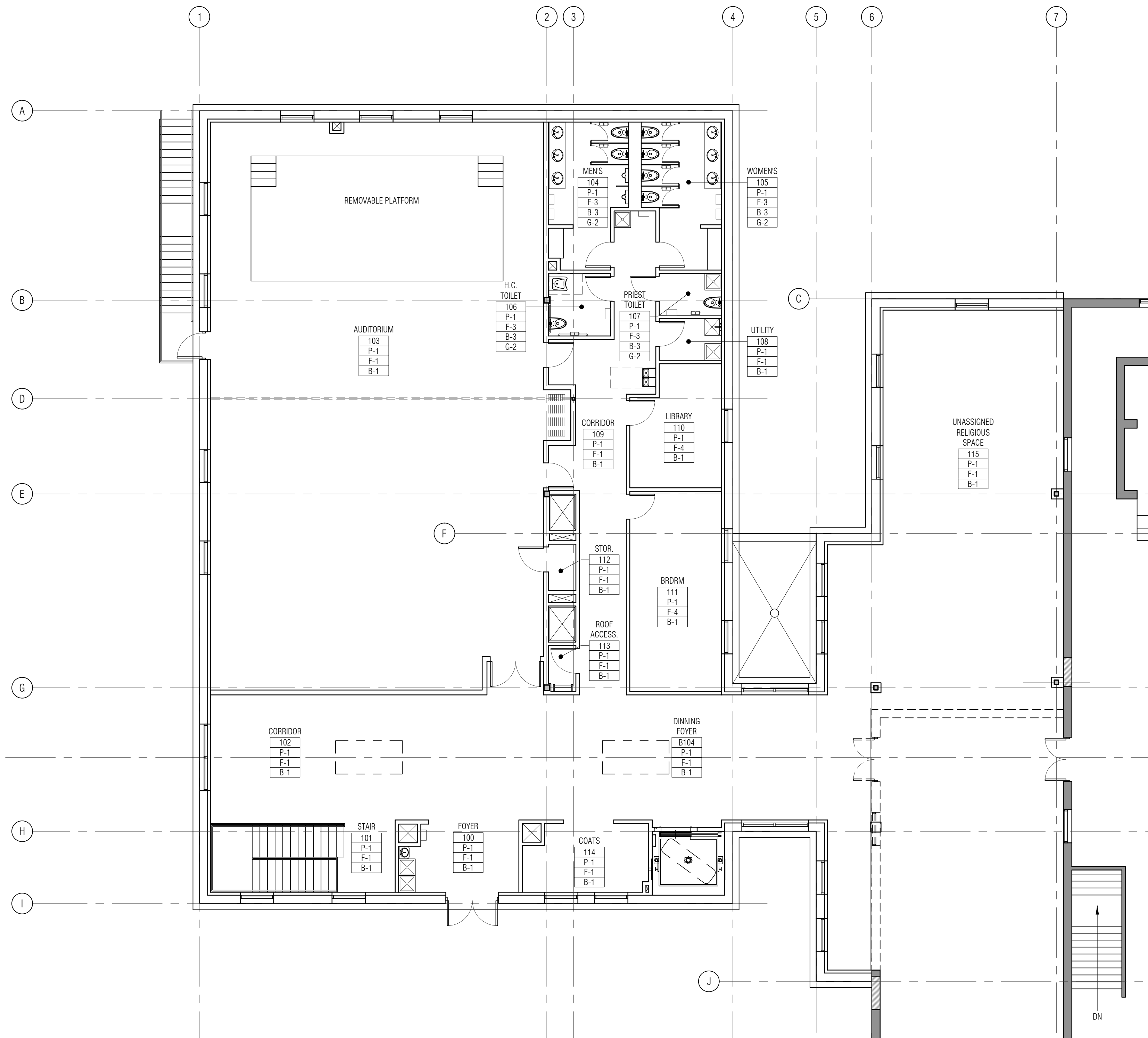
Project # 14012

FINISH SCHEDULE- FLOOR FINISHES		
CODE	TYPE	DESCRIPTION
F-1	CONCRETE	POLISH & SEAL CONCRETE SLAB
F-2	QUARRY TILE	TBD
F-3	CERAMIC TILE	TBD
F-4	CARPET	TBD
G-1	GROUT	TBD
G-2	GROUT	TBD

FINISH SCHEDULE- WALL FINISH		
CODE	TYPE	DESCRIPTION
P-1	PAINT-eggshell	TBD
BEN. MOORE MATCHING COLORS TO ABOVE IS AN ACCEPTABLE SUBSTITUTE		

FINISH SCHEDULE- TRIM, BASE, WINDOW TREATMENTS		
CODE	TYPE	DESCRIPTION
T-1	TRIM/DOORS PAINT	TBD
B-1	RUBBER BASE	JOHNSONITE 4"H RUBBER (1/8" thick) COLOR: TBD
B-2	TILE	4"H COVE BASE - TBD COLOR: TBD
B-3	TILE	4"H COVE BASE - TBD COLOR: TBD
NOTE: B-1 RUBBER BASE- TYPICAL BASE THROUGHOUT U.O.N.		

MILLWORK FINISHES		
CODE	TYPE	DESCRIPTION
SS-1	SOLID SURFACE	TBD
PL-1	PL LAMINATE	TBD
PL-2	PL LAMINATE	TBD
PL-3	PL LAMINATE	TBD



FINISH NOTES

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**SRI LAKSHMI TEMPLE
NEW ADDITION**

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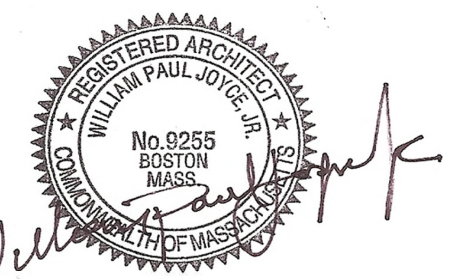
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Sheet Title

**MAIN LEVEL
FINISH PLAN, SCHEDULE &
DETAILS**

Scale 1/8" = 1'-0" Drawn by JSR Verified by WPU

Sheet #

A9.1

Project #

140002

FINISH SCHEDULE- FLOOR FINISHES

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F-4	CARPET	TBD
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G-2	GROUT	TBD

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CODE	TYPE	DESCRIPTION
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